



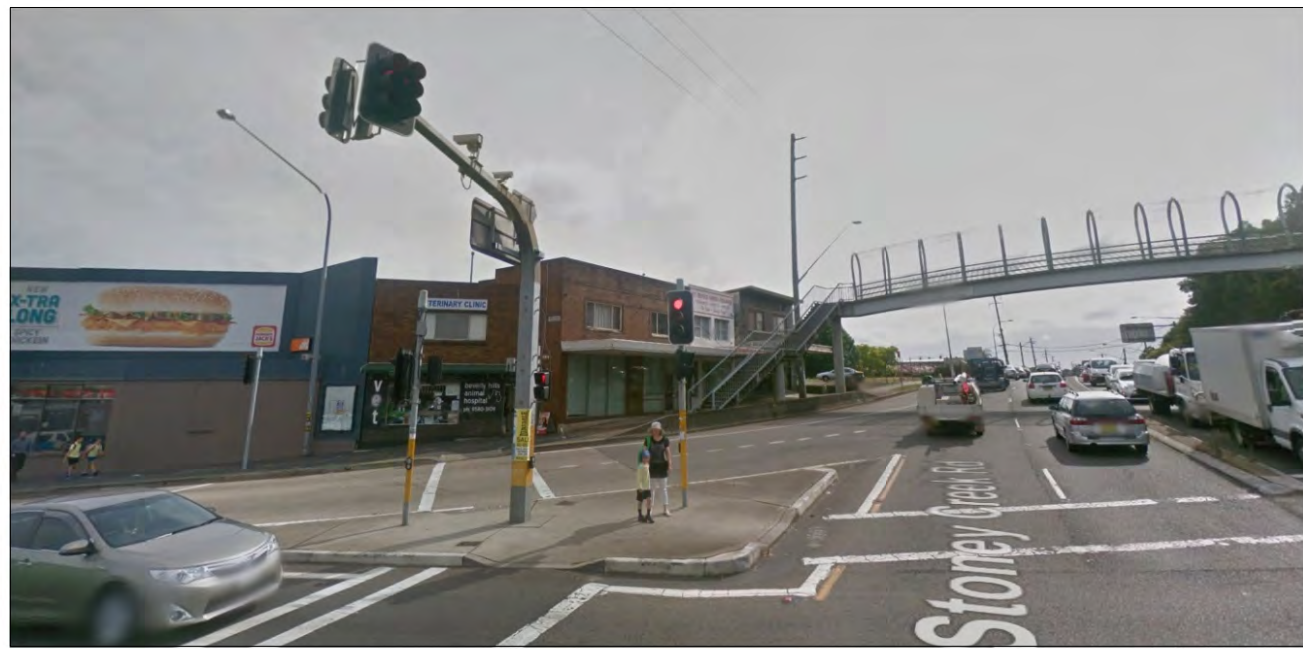
PHOTOMONTAGE 1 – CORNER OF KING GEORGES ROAD AND STONEY CREEK ROAD



PHOTOMONTAGE 2 – CORNER OF STONEY CREEK ROAD AND LEE AVENUE



01 VIEW TO REAR LANE AND EXISTING CAR PARK FROM KING GEORGE'S ROAD



02 INTERSECTION OF KING GEORGE'S ROAD AND STONEY CREEK ROAD



03 EXISTING COMMERCIAL PREMISES TO BE DEMOLISHED

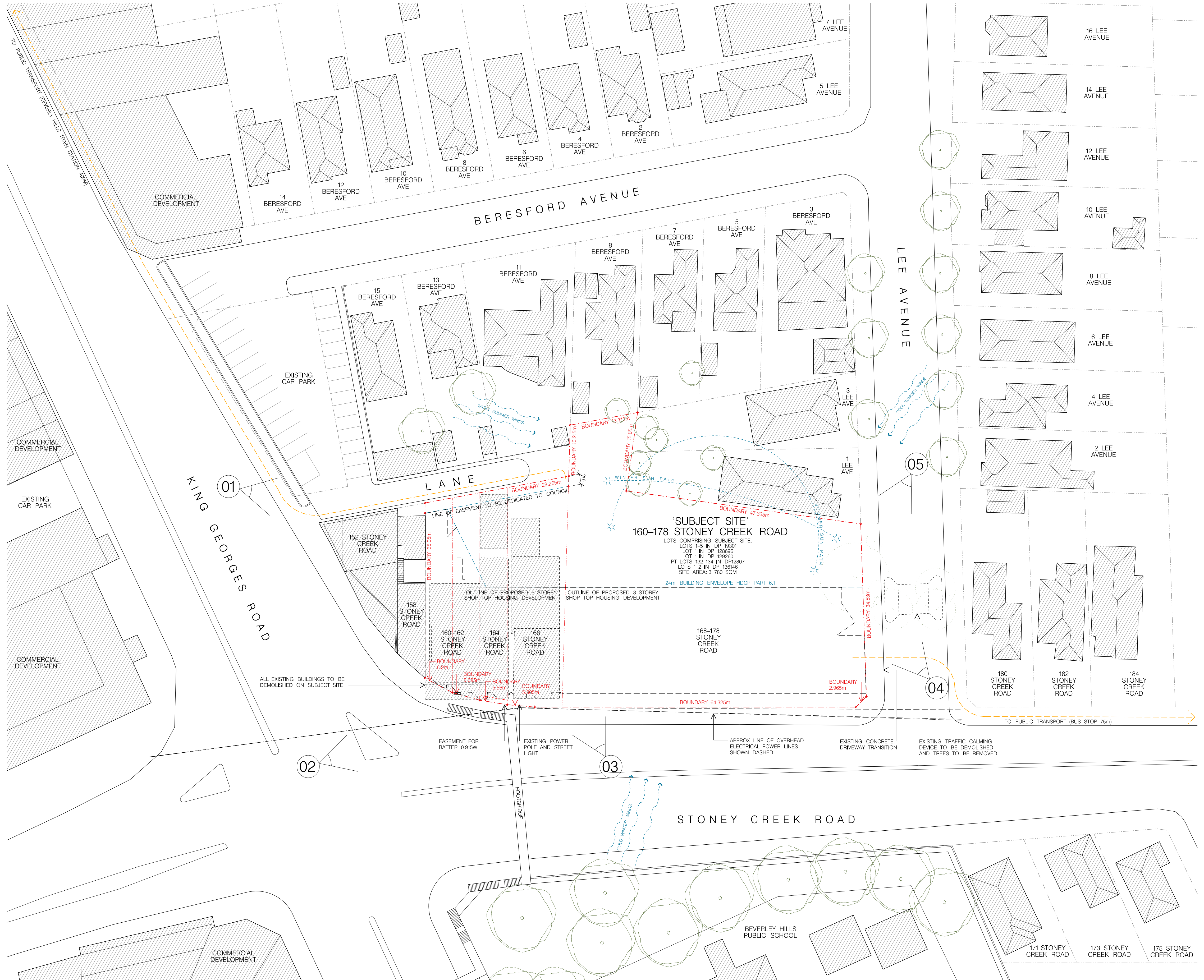


04 EXISTING TRAFFIC CALMING DEVICE AND TREES



05 VIEW FROM 1 LEE AVENUE TOWARD SUBJECT SITE

IMAGES 01-05
GOOGLE 2016



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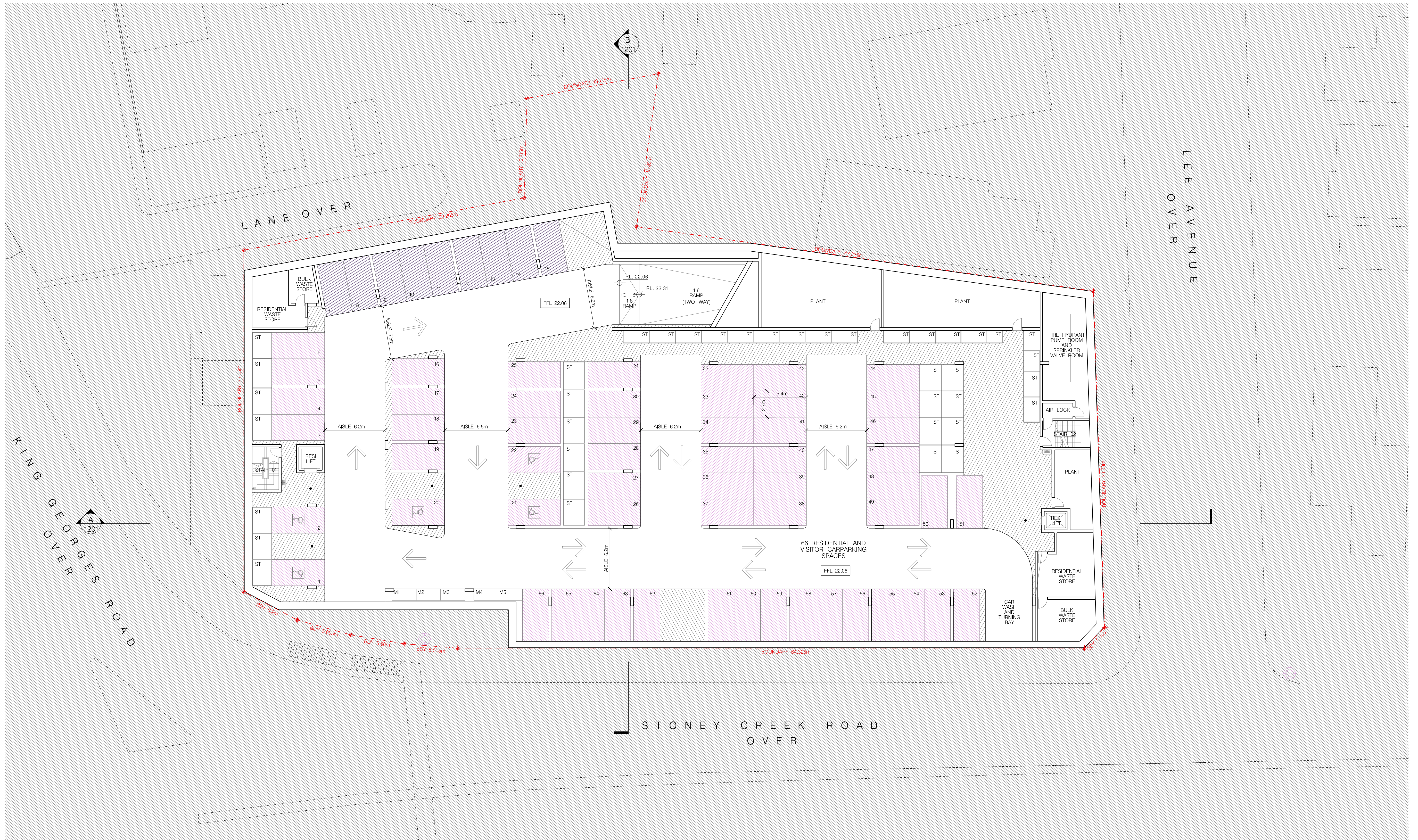
PROJECT:
160-178 STONEY CREEK ROAD,
BEVERLY HILLS
CLIENT:
CUZENO BUILDERS AND DEVELOPERS

SCALE: 1:400@A1
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DATE:
15 MAR. 2017
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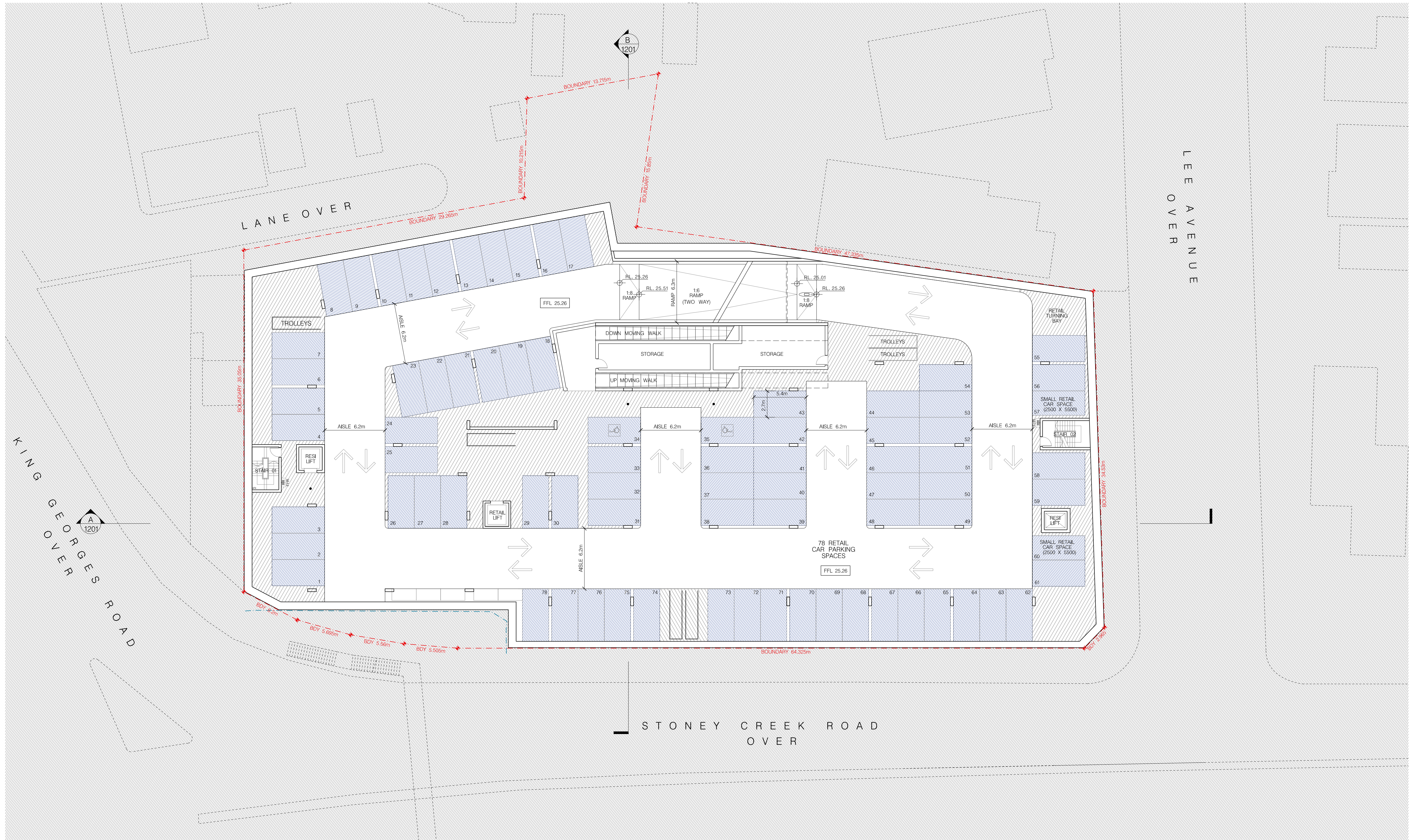
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SITE ANALYSIS
PLAN
DRAWING No.
DA - 1050

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5728
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01 BASEMENT LEVEL PLAN B3
1:200

- RETAIL CAR PARKING
- RESIDENTIAL CAR PARKING
- VISITOR CAR PARKING



01 BASEMENT LEVEL PLAN B2
1:200

RETAIL+RESIDENTIAL VISITOR CAR PARKING
RESIDENTIAL CAR PARKING
VISITOR CAR PARKING

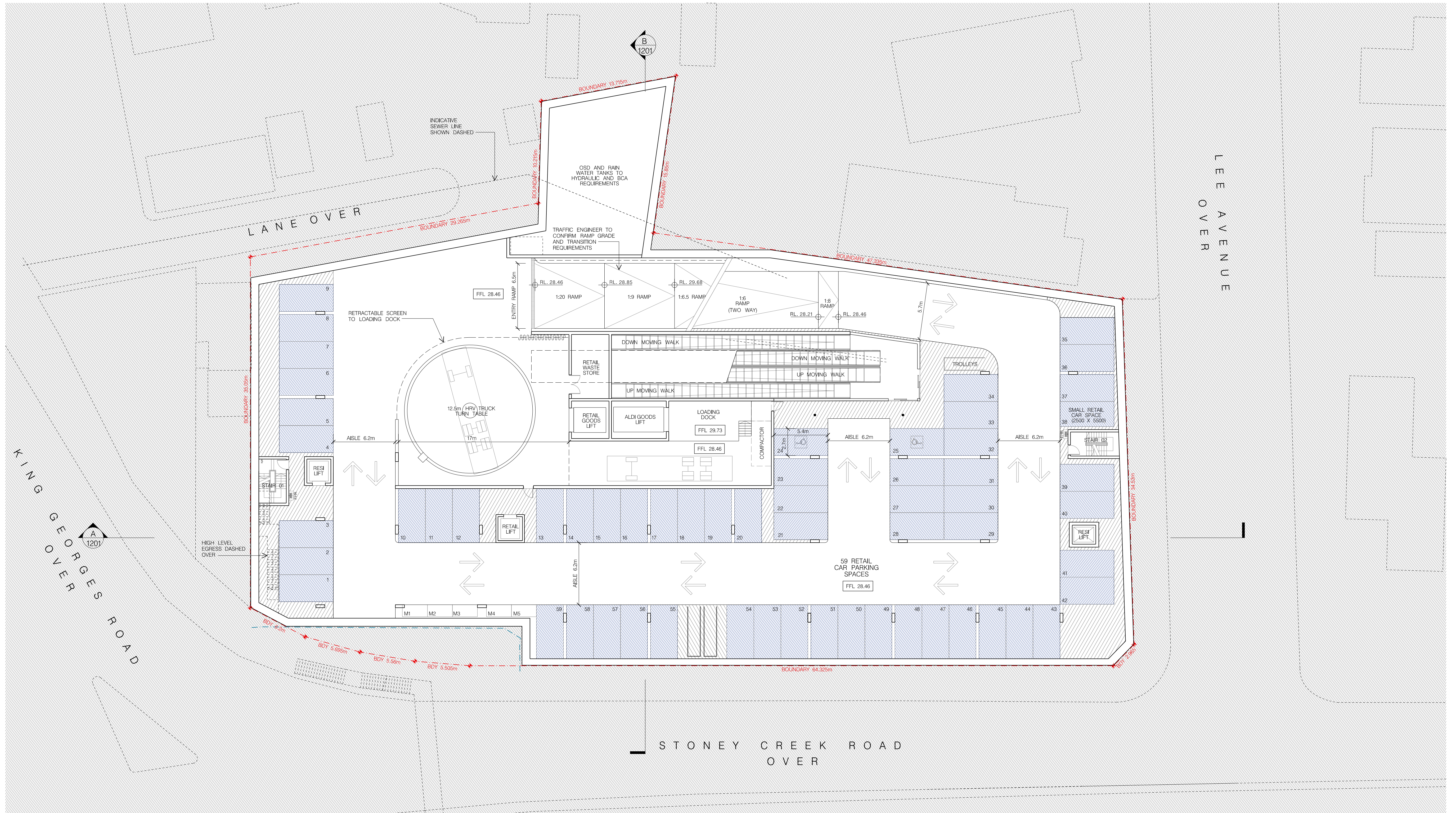
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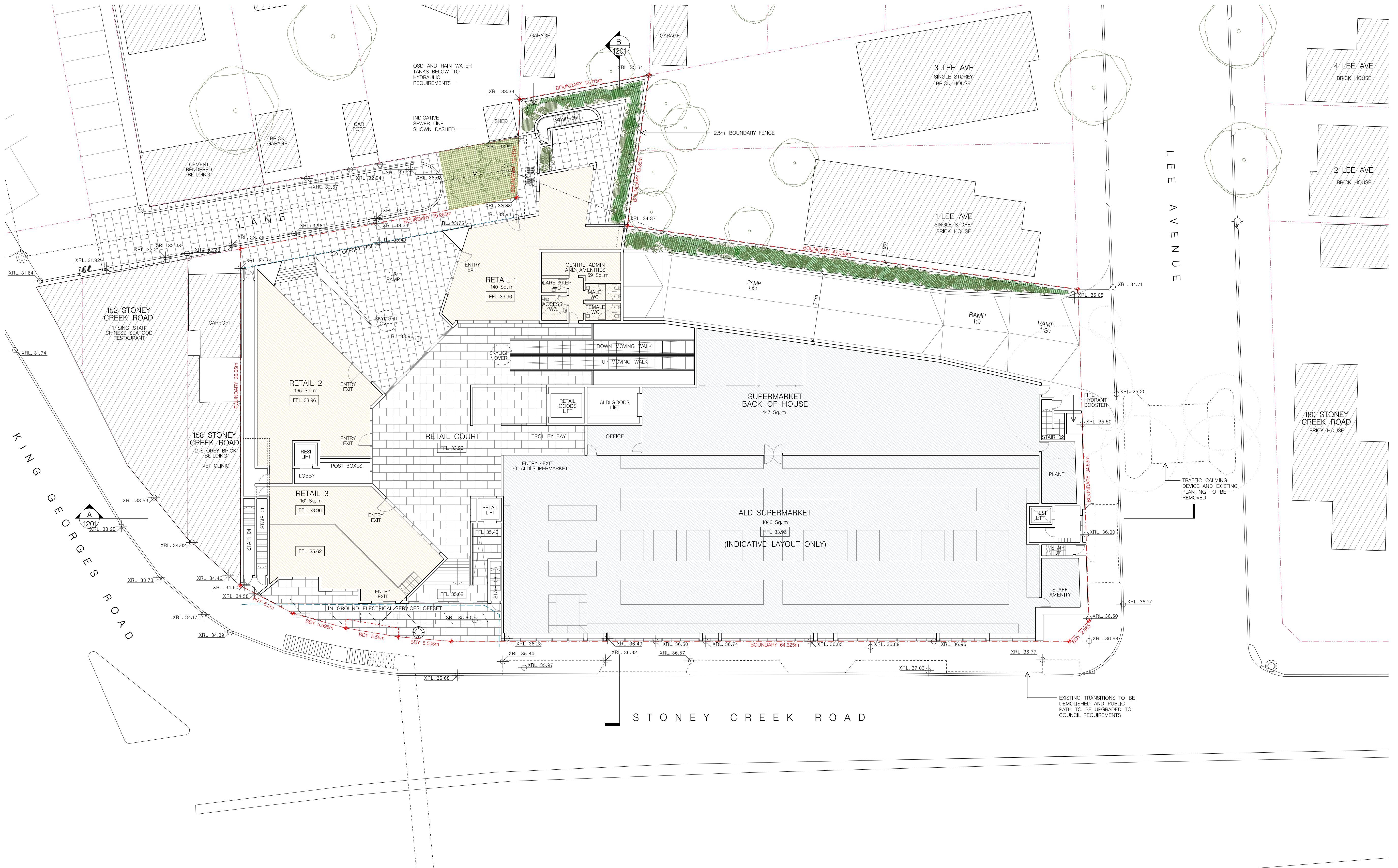
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BASEMENT LEVEL 2
FLOOR PLAN
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01 BASEMENT LEVEL PLAN B1
1:200

- RETAIL CAR PARKING
- RESIDENTIAL CAR PARKING
- VISITOR CAR PARKING



01 GROUND FLOOR PLAN
1:200

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SCALE: 1:200@A1 / 1:400@A3
0 5m 10m

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01 LEVEL 1 FLOOR PLAN
1:200

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DRAWING:
LEVEL 1
FLOOR PLAN
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01 LEVEL 2 FLOOR PLAN
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DRAWING:
LEVEL 2
FLOOR PLAN
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01 LEVEL 3 FLOOR PLAN
1:200 LEVEL 4 PLAN SIMILAR

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CUZENO BUILDERS AND DEVELOPERS

SCALE: 1:200@A1 / 1:400@A3
0 5m 10m

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01 ROOF PLAN
1:200

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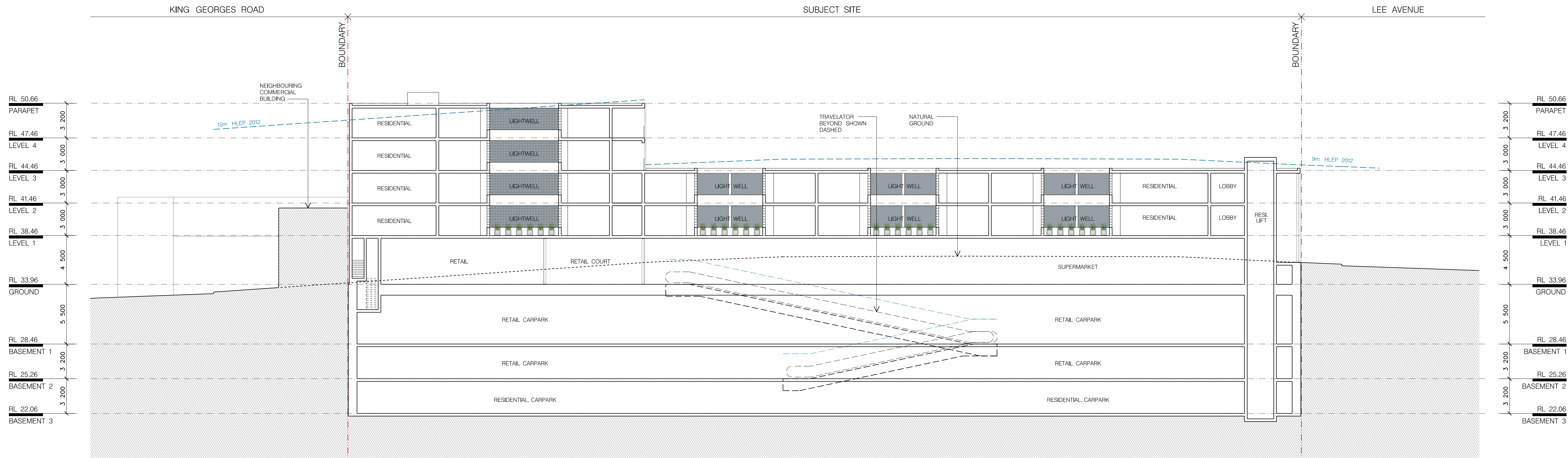
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SCALE: 1:200@A1 / 1:400@A3
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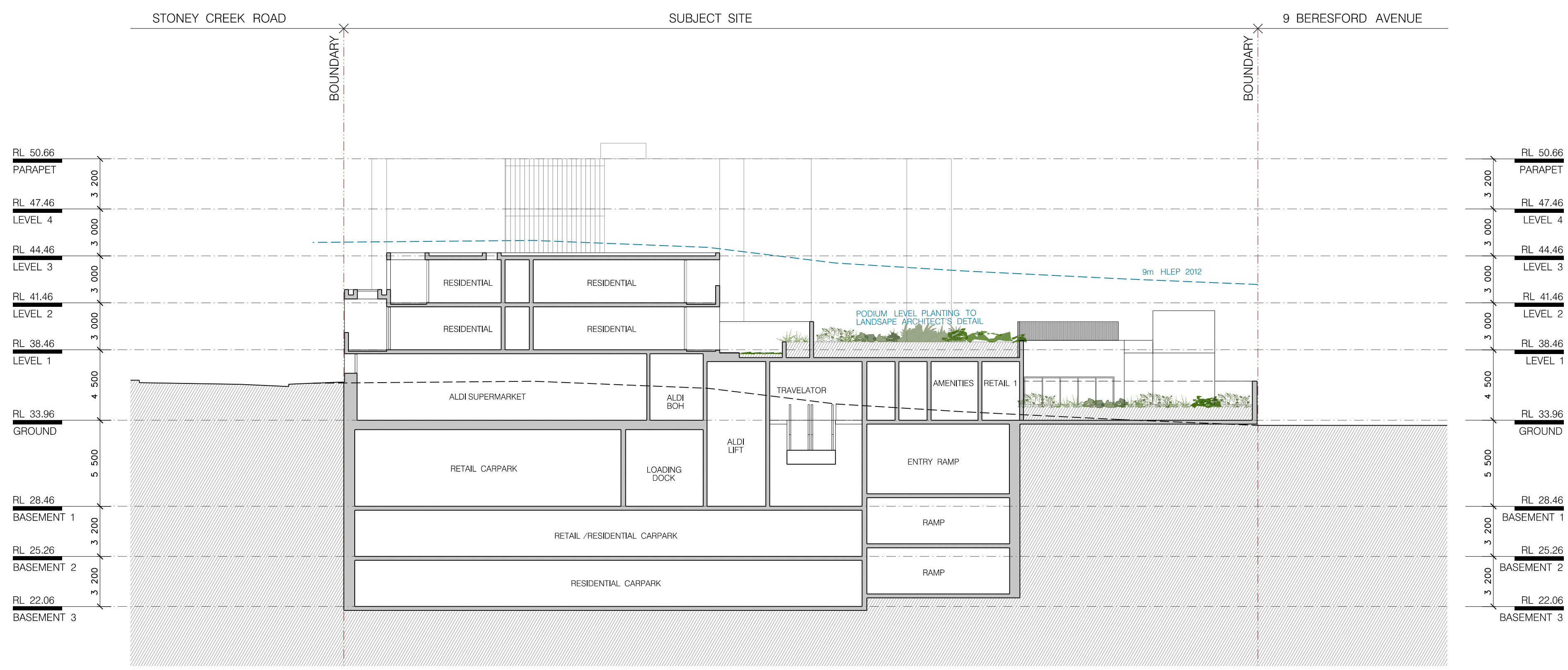
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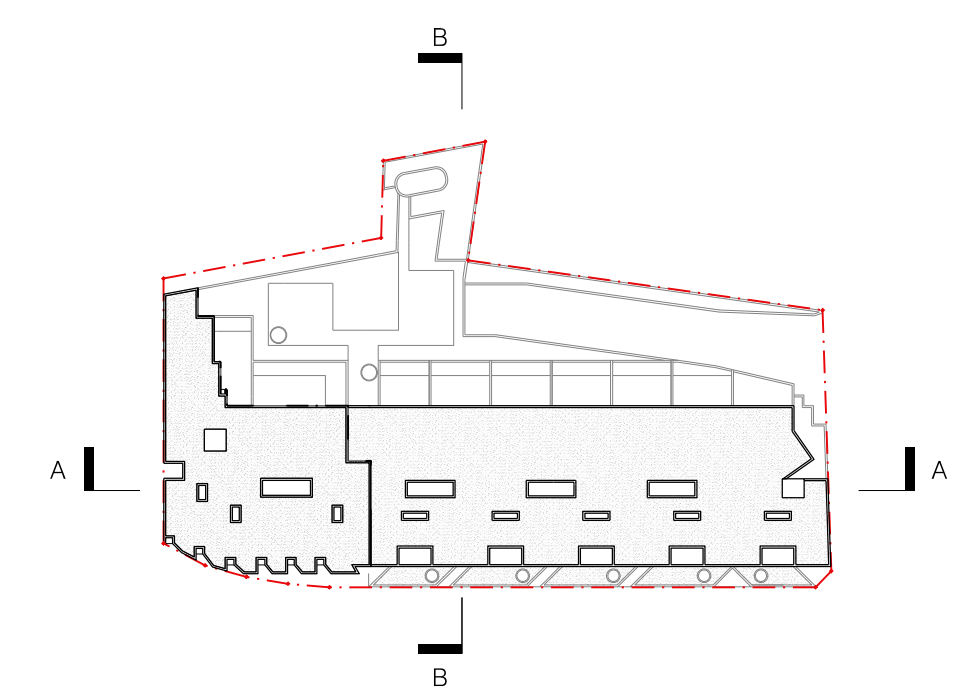
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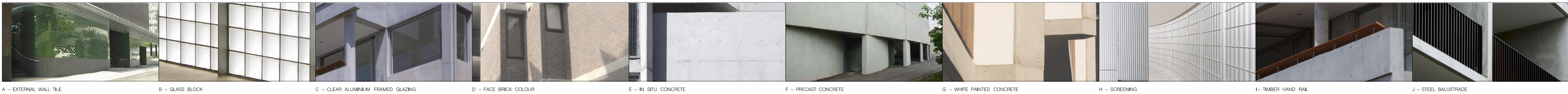
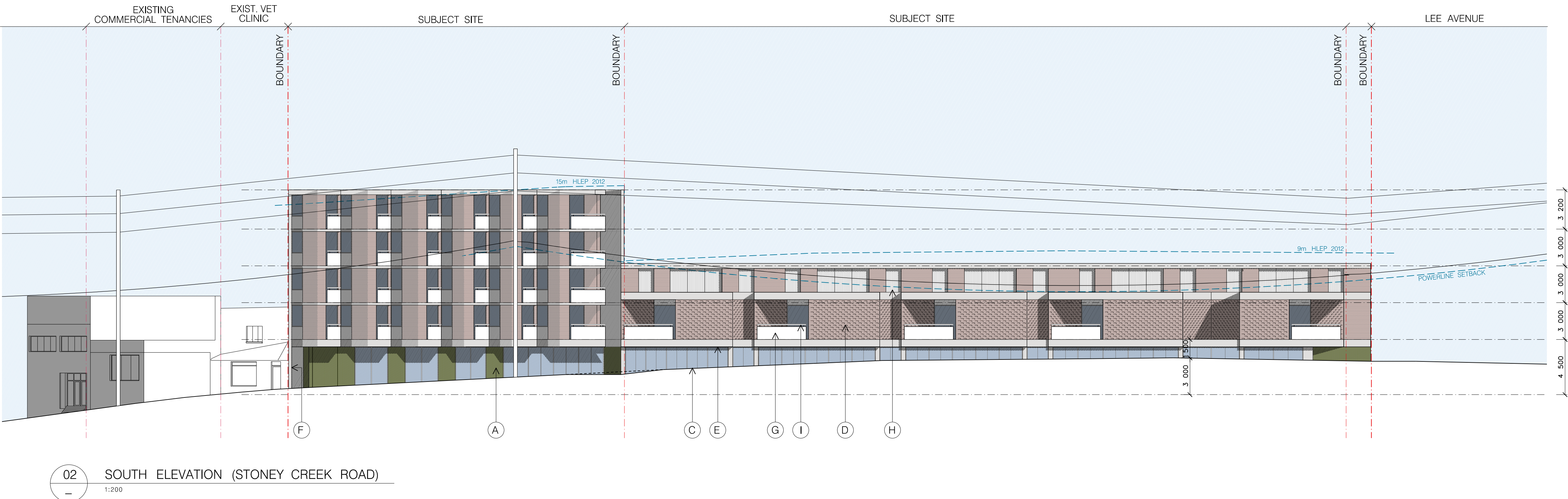
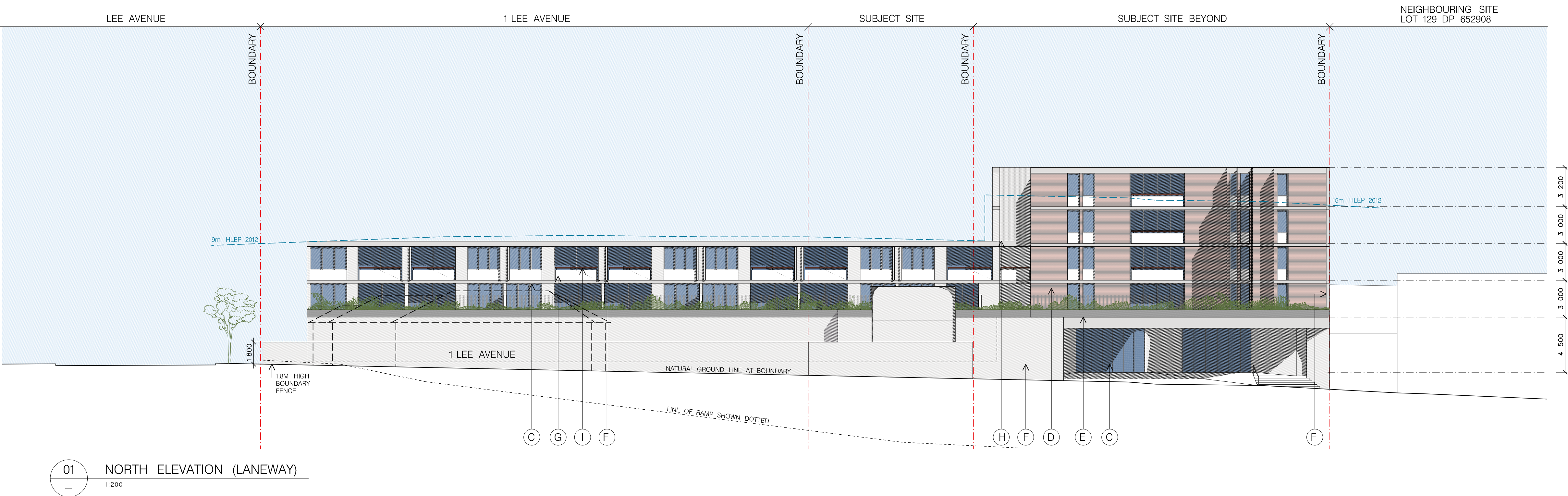
01 SECTION A
1:200



02 SECTION B
1:200

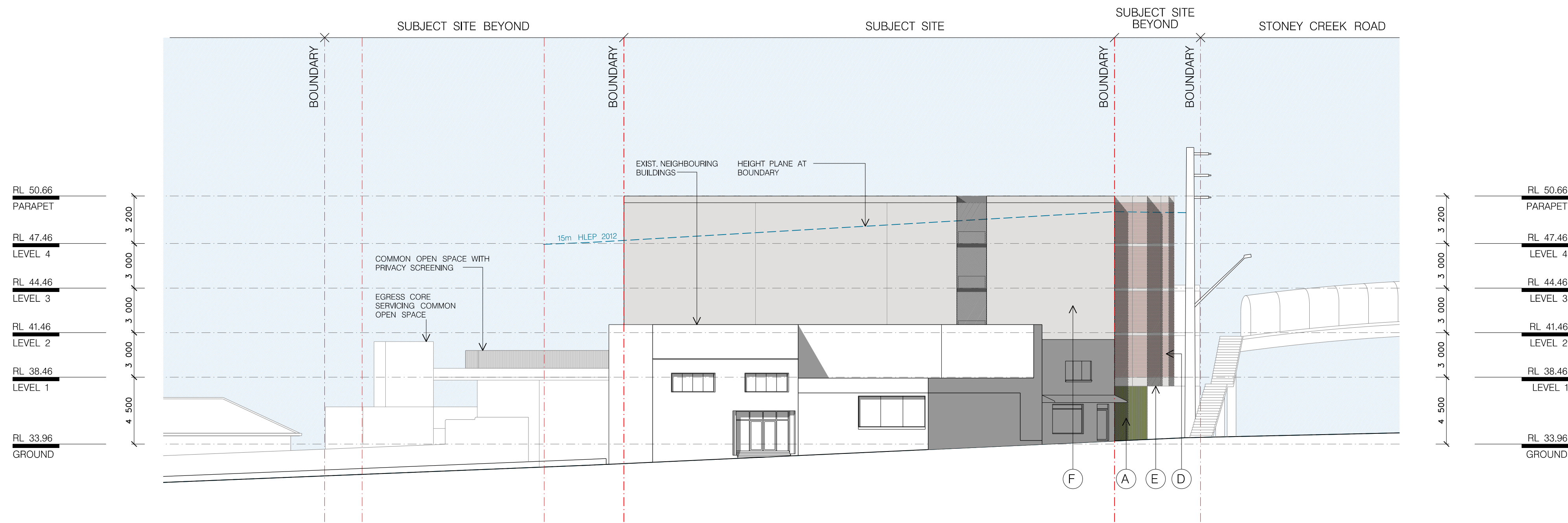


KEY PLAN

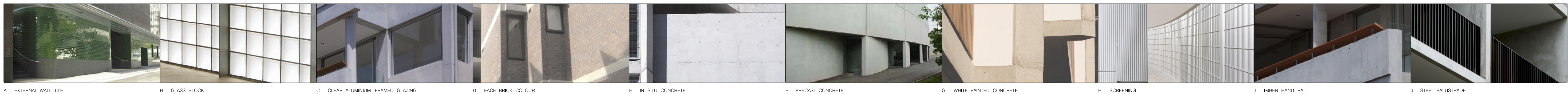




01 EAST ELEVATION (LEE AVENUE)
1:200



02 WEST ELEVATION (KING GEORGES ROAD)
1:200



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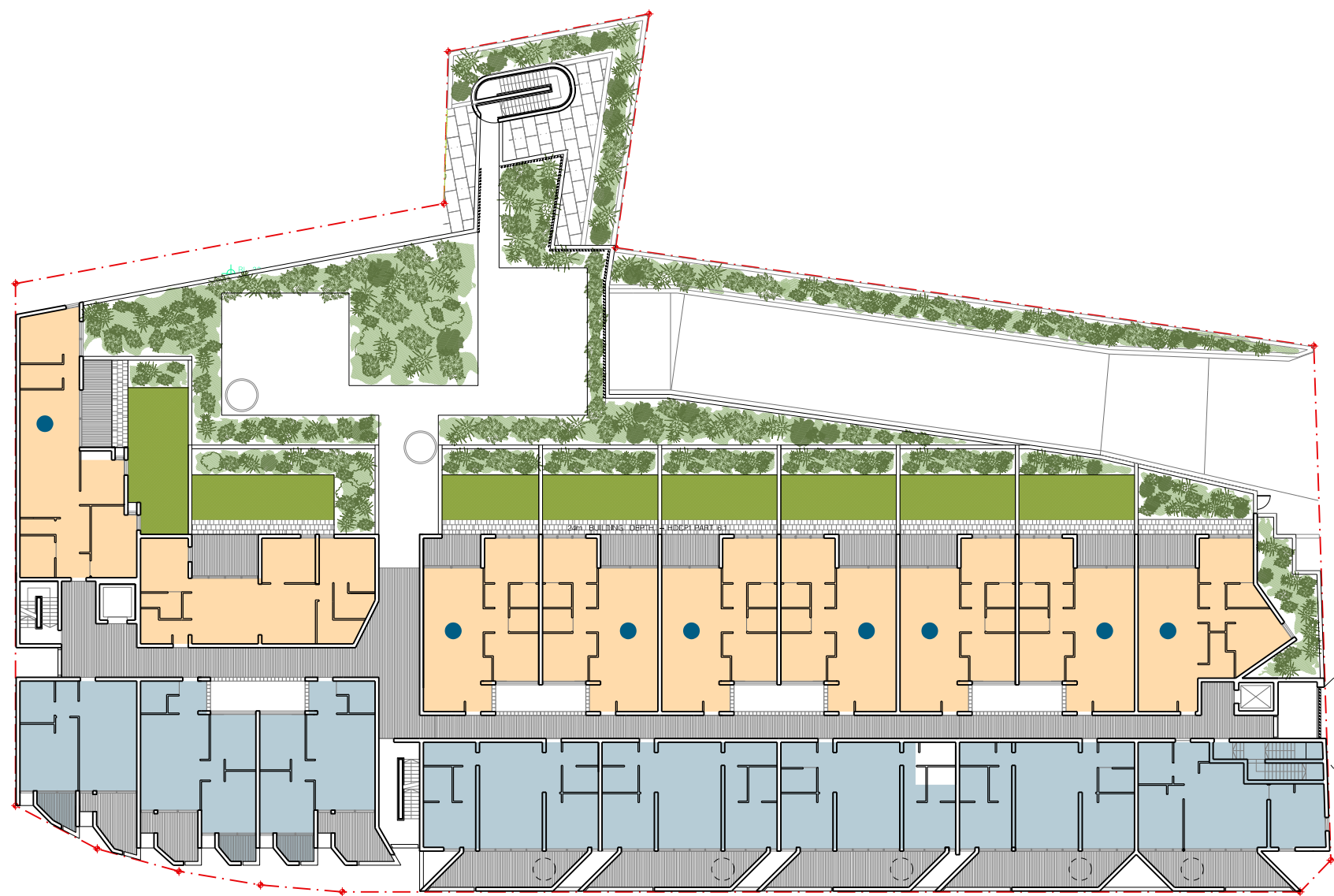
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CLIENT:
CUZENO BUILDERS AND DEVELOPERS

SCALE: 1:200@A1 / 1:400@A3
0 5m 10m

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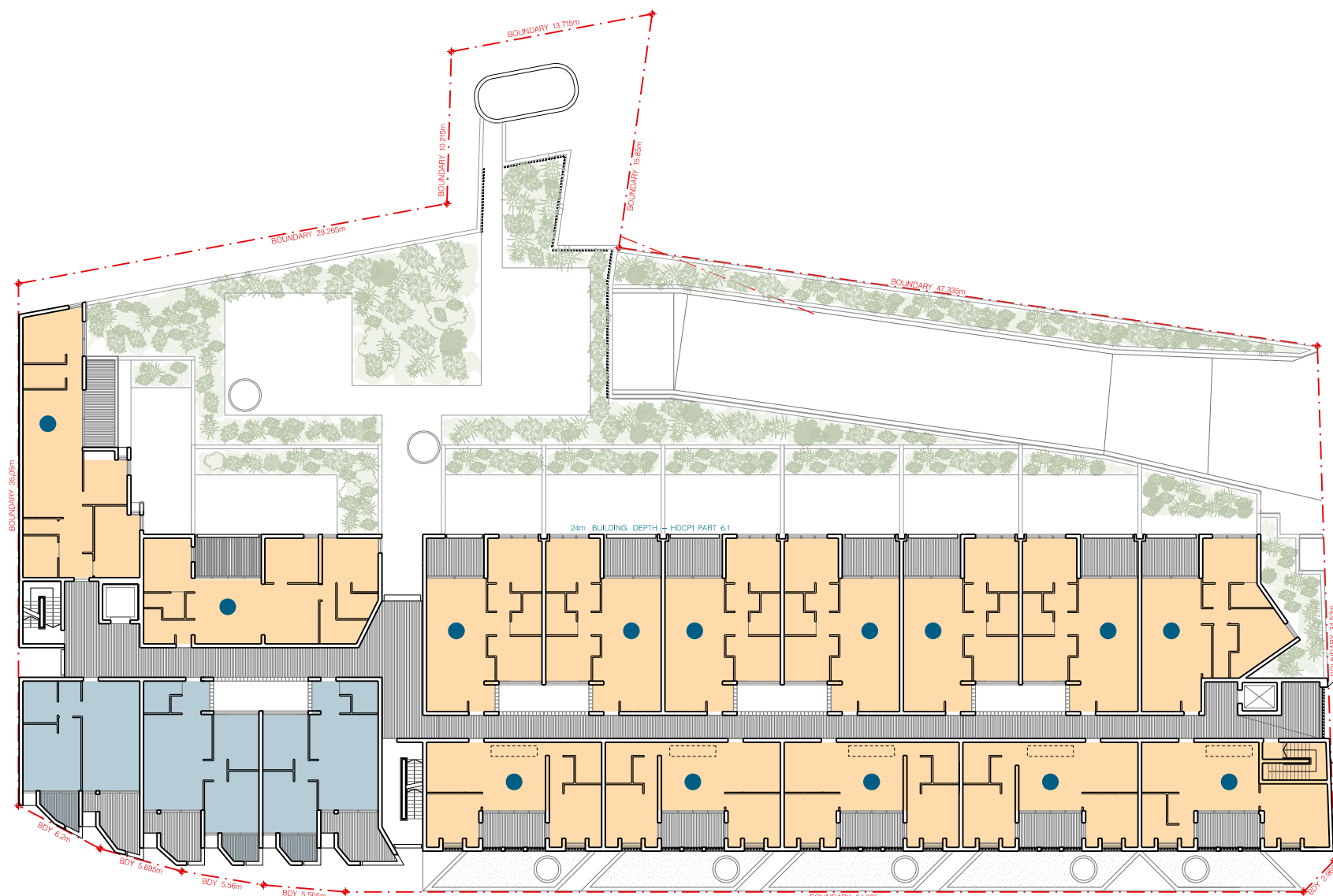
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LEVEL 1

CALCULATIONS FOR JUNE 21,9AM – 3PM

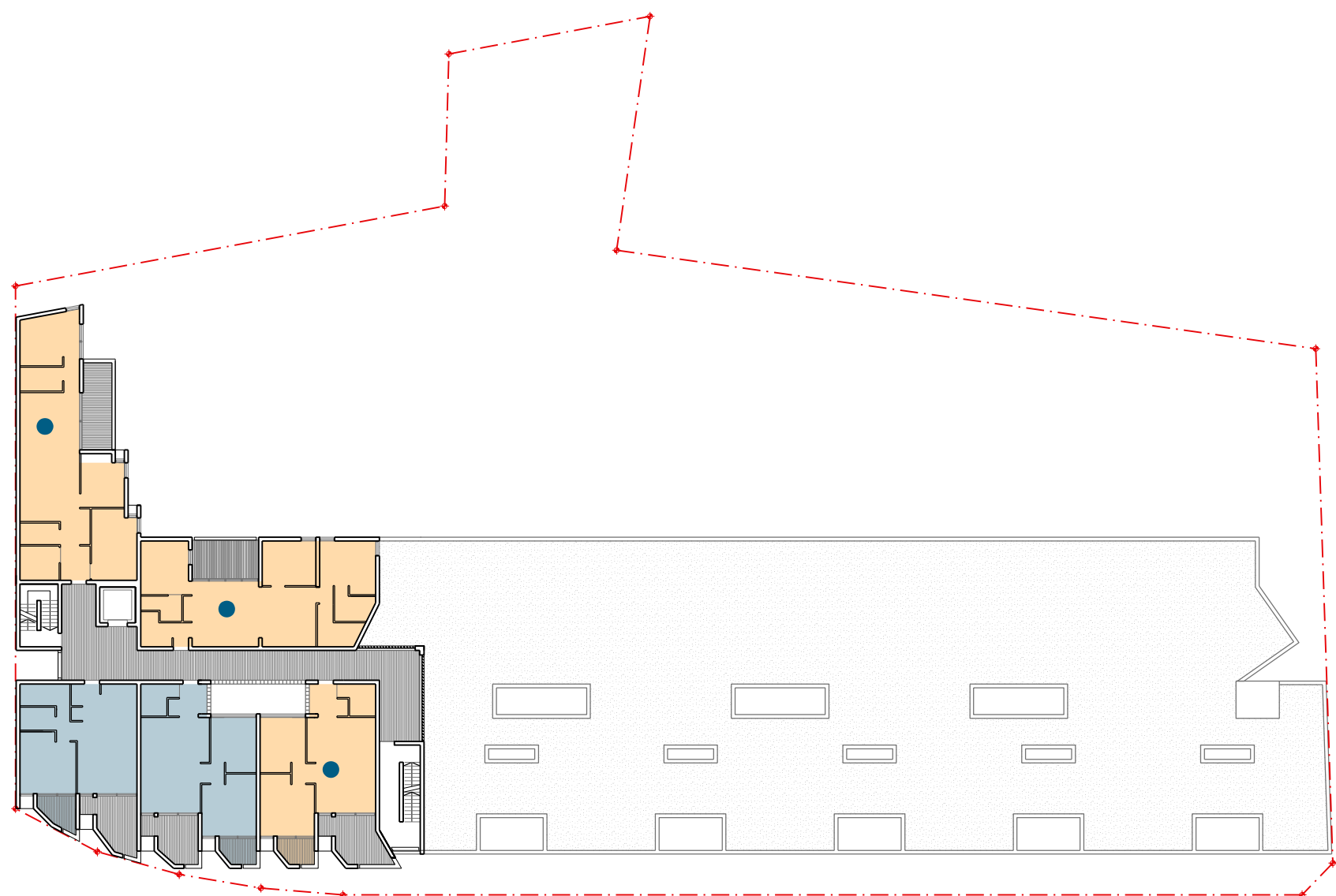
<div></div> MORE THAN 2 HOURS OF DIRECT SOLAR ACCESS	9 UNITS
<div></div> LESS THAN 2 HOURS OF DIRECT SOLAR ACCESS	8 UNITS
<div></div> NATURAL CROSS VENTILATION	8 UNITS
TOTAL NUMBER OF UNITS	17 UNITS



LEVEL 2

CALCULATIONS FOR JUNE 21,9AM – 3PM

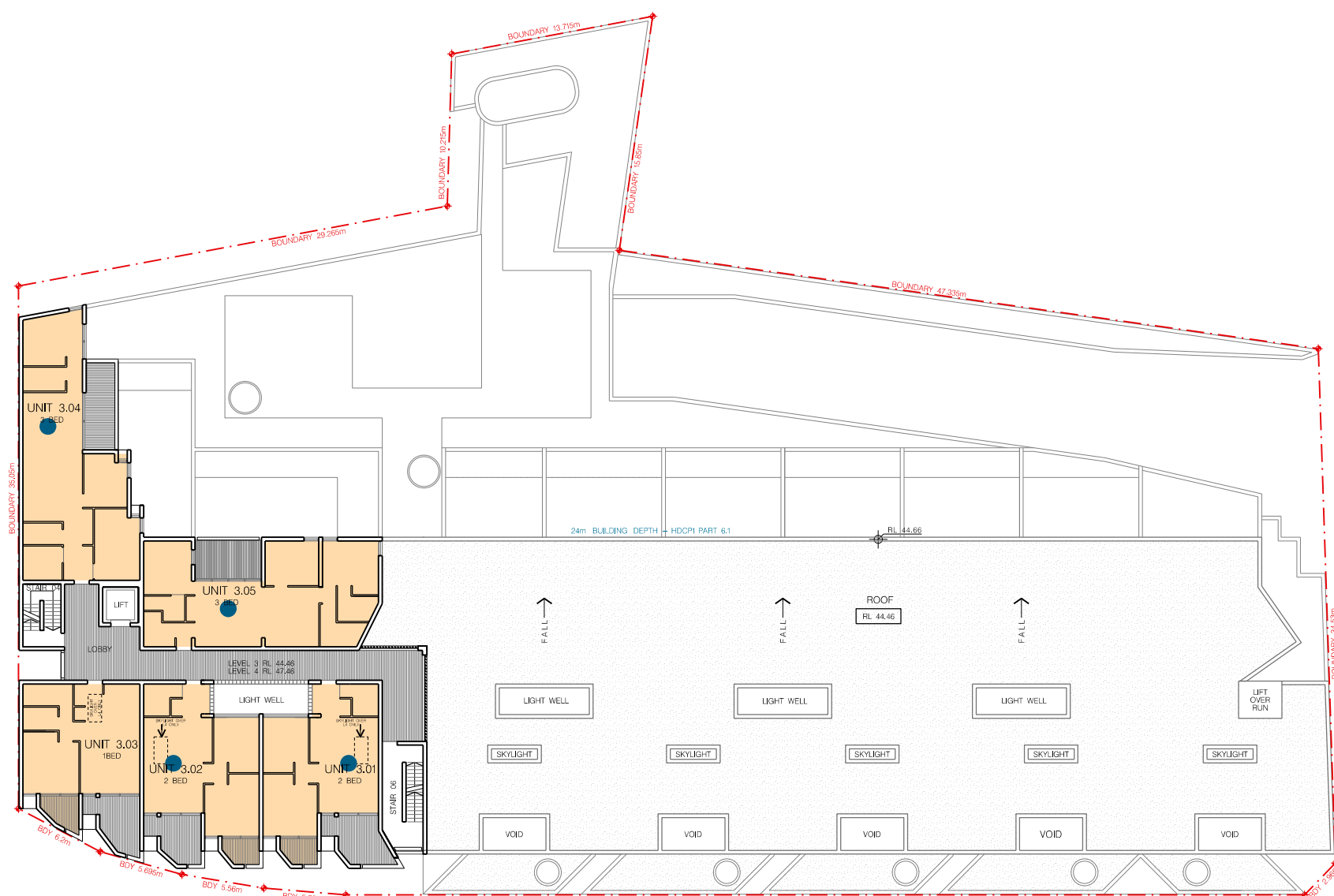
<div></div> MORE THAN 2 HOURS OF DIRECT SOLAR ACCESS	14 UNITS
<div></div> LESS THAN 2 HOURS OF DIRECT SOLAR ACCESS	3 UNITS
<div></div> NATURAL CROSS VENTILATION	14 UNITS
TOTAL NUMBER OF UNITS	17 UNITS



LEVEL 3

CALCULATIONS FOR JUNE 21,9AM – 3PM

<div></div> MORE THAN 2 HOURS OF DIRECT SOLAR ACCESS	3 UNITS
<div></div> LESS THAN 2 HOURS OF DIRECT SOLAR ACCESS	2 UNITS
<div></div> NATURAL CROSS VENTILATION	3 UNITS
TOTAL NUMBER OF UNITS	5 UNITS



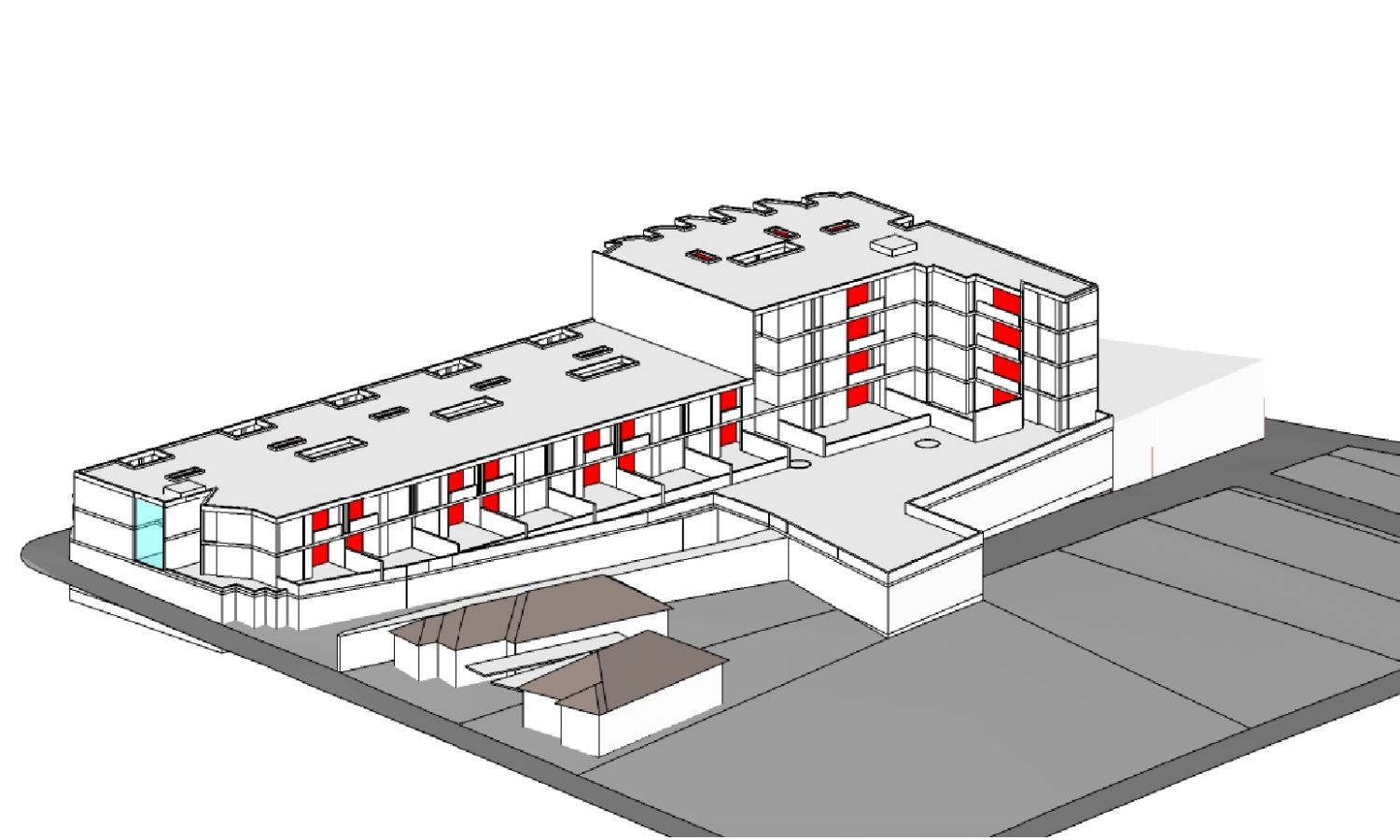
LEVEL 4

CALCULATIONS FOR JUNE 21,9AM – 3PM

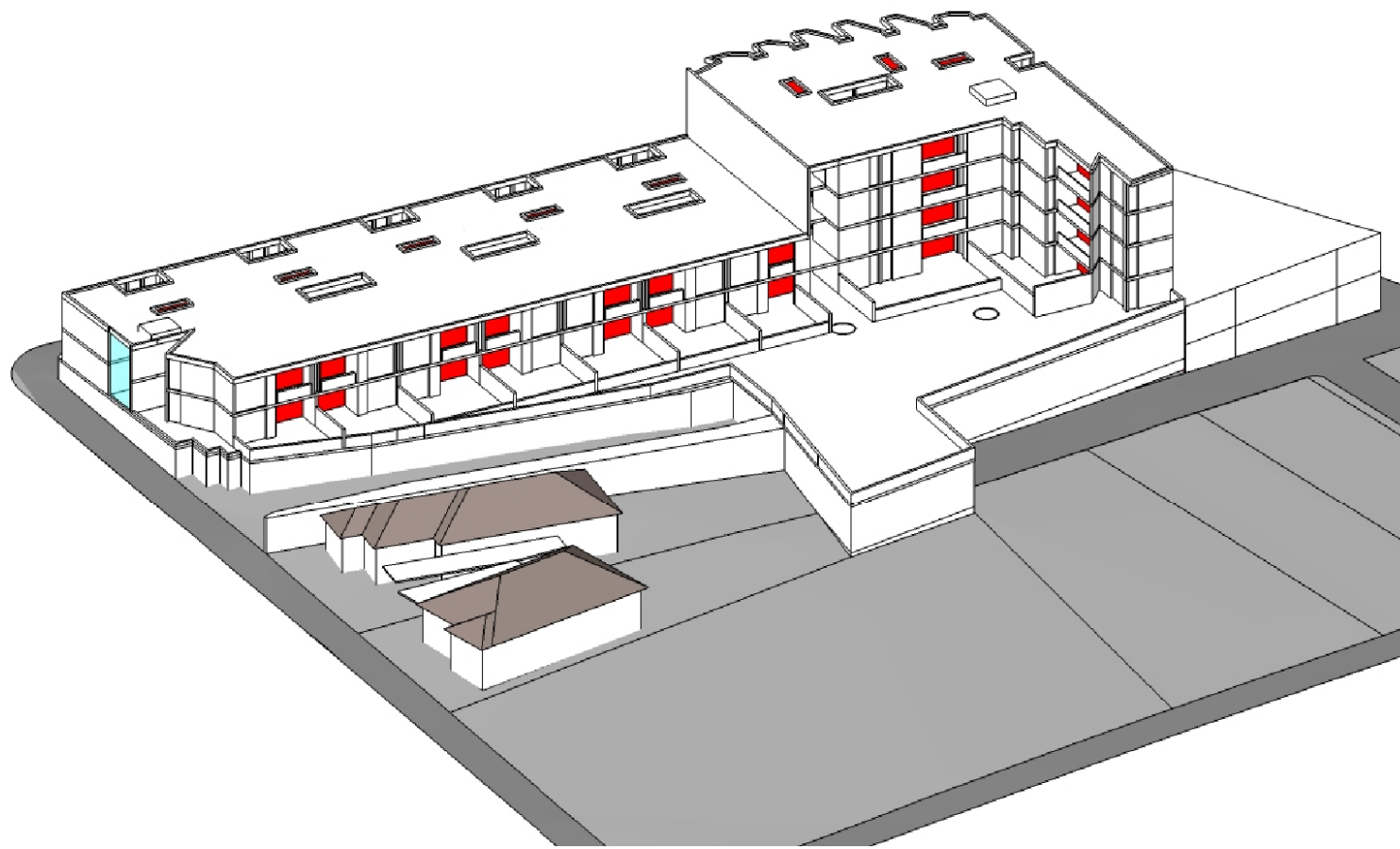
<div></div> MORE THAN 2 HOURS OF DIRECT SOLAR ACCESS	5 UNITS
<div></div> LESS THAN 2 HOURS OF DIRECT SOLAR ACCESS	0 UNITS
<div></div> NATURAL CROSS VENTILATION	4 UNITS
TOTAL NUMBER OF UNITS	5 UNITS

NATURAL CROSS VENTILATION SUMMARY BY LEVEL	CROSS VENTILATION	NO CROSS VENTILATION
LEVEL 1	8	9
LEVEL 2	14	3
LEVEL 3	2	3
LEVEL 4	4	1
TOTAL	28	16
PERCENTAGE (44 UNITS TOTAL)	64%	18%

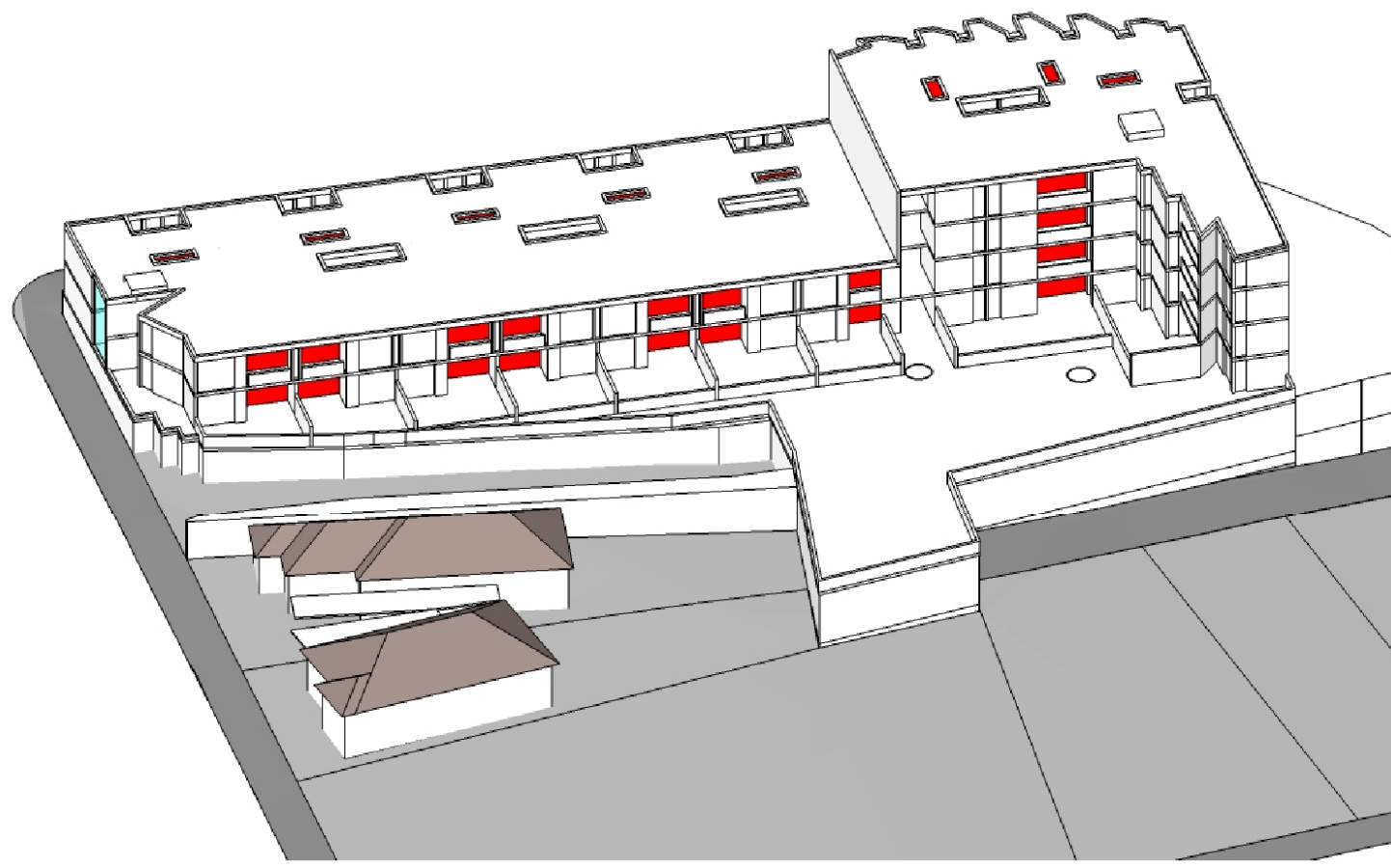
SOLAR ACCESS SUMMARY BY LEVEL	MORE THAN 2 HOURS OF DIRECT SOLAR ACCESS	LESS THAN 2 HOURS OF DIRECT SOLAR ACCESS
LEVEL 1	9	8
LEVEL 2	14	3
LEVEL 3	3	2
LEVEL 4	5	0
TOTAL	31	13
PERCENTAGE (44 UNITS TOTAL)	70%	30%



VIEW FROM THE SUN – 9AM
9 AM – JUNE 21



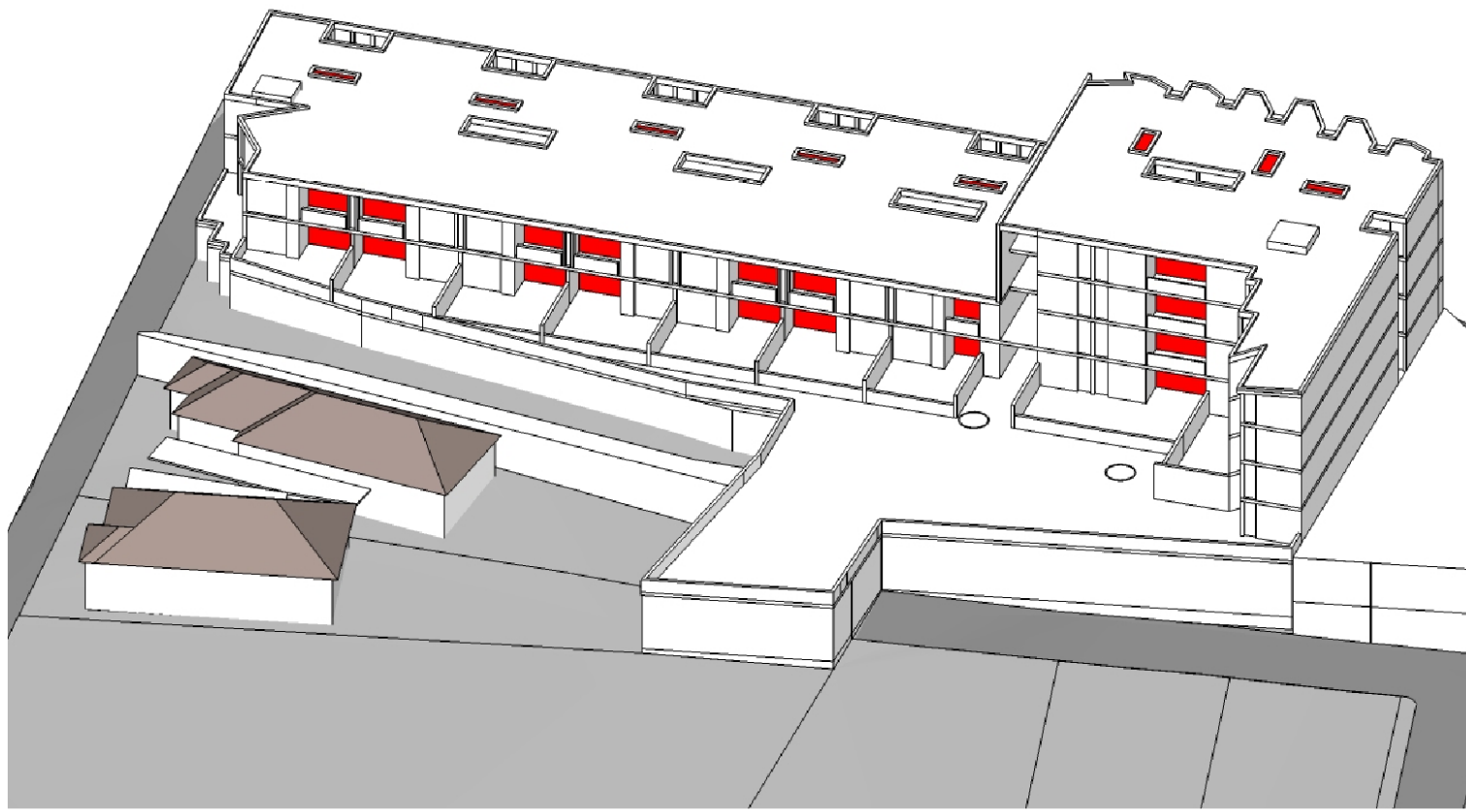
VIEW FROM THE SUN – 10AM
9 AM – JUNE 21



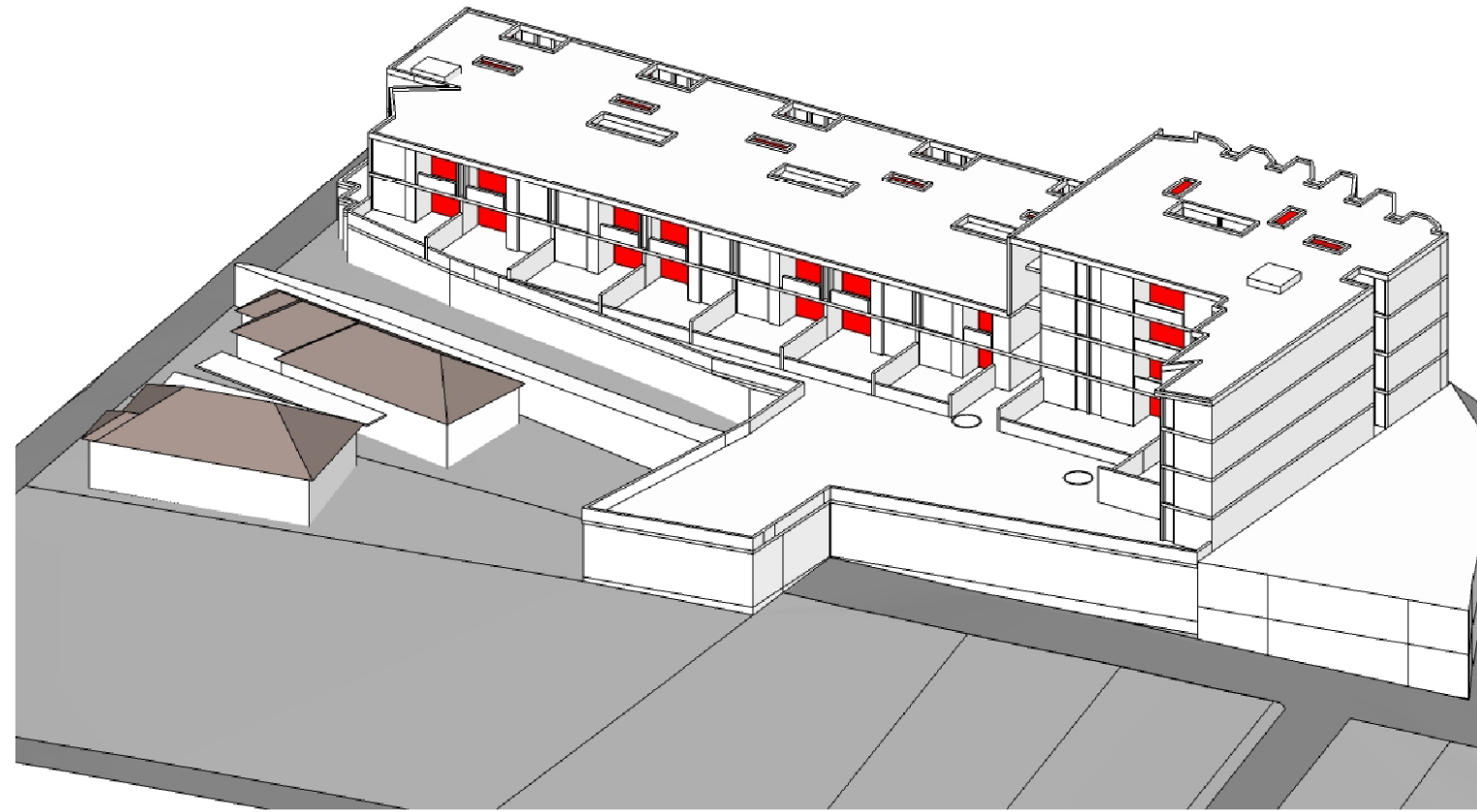
VIEW FROM THE SUN – 11AM
9 AM – JUNE 21



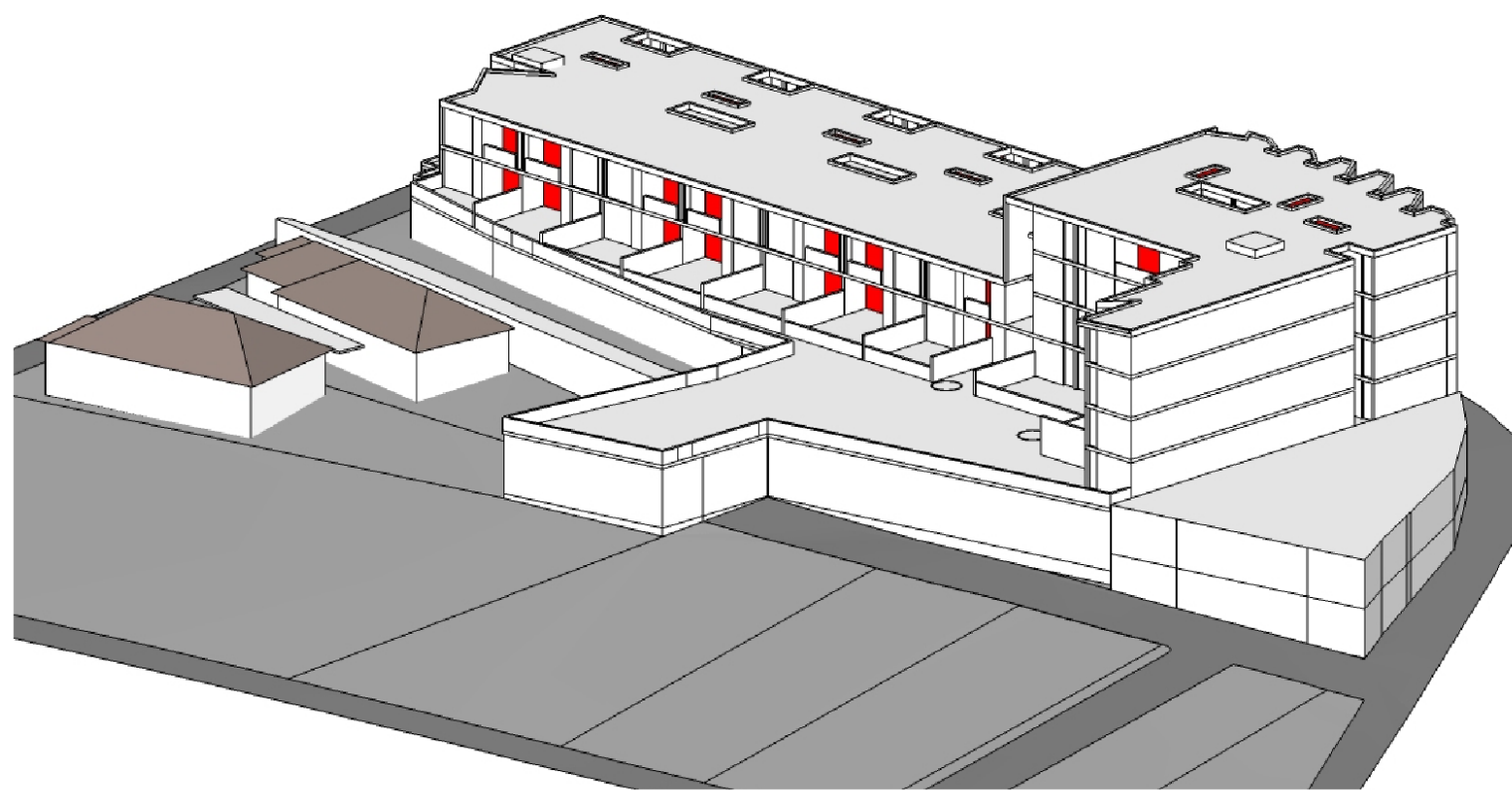
VIEW FROM THE SUN – 12PM
9 AM – JUNE 21



VIEW FROM THE SUN – 1PM
9 AM – JUNE 21

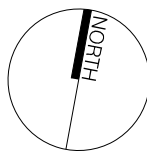


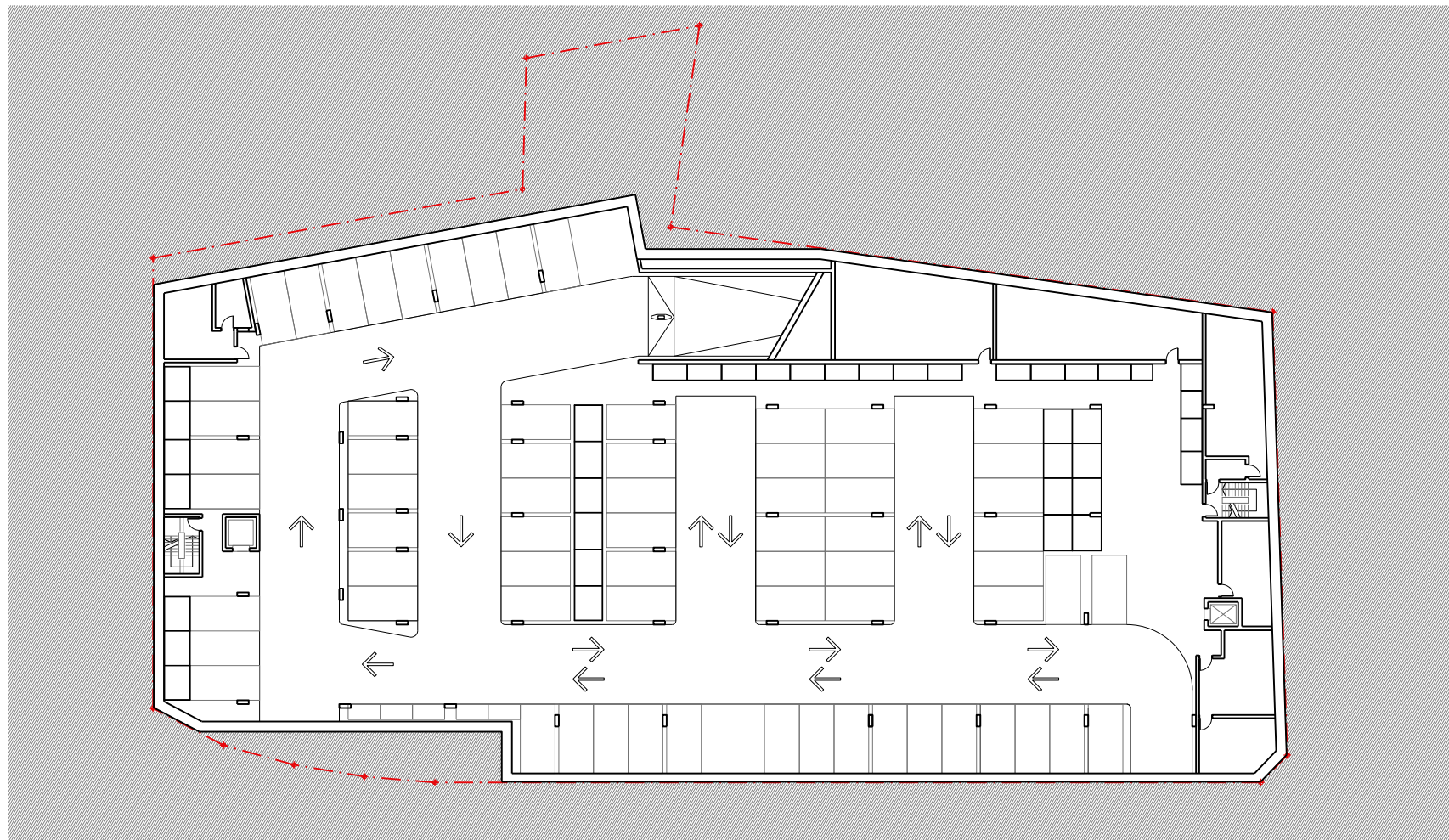
VIEW FROM THE SUN – 2PM
9 AM – JUNE 21



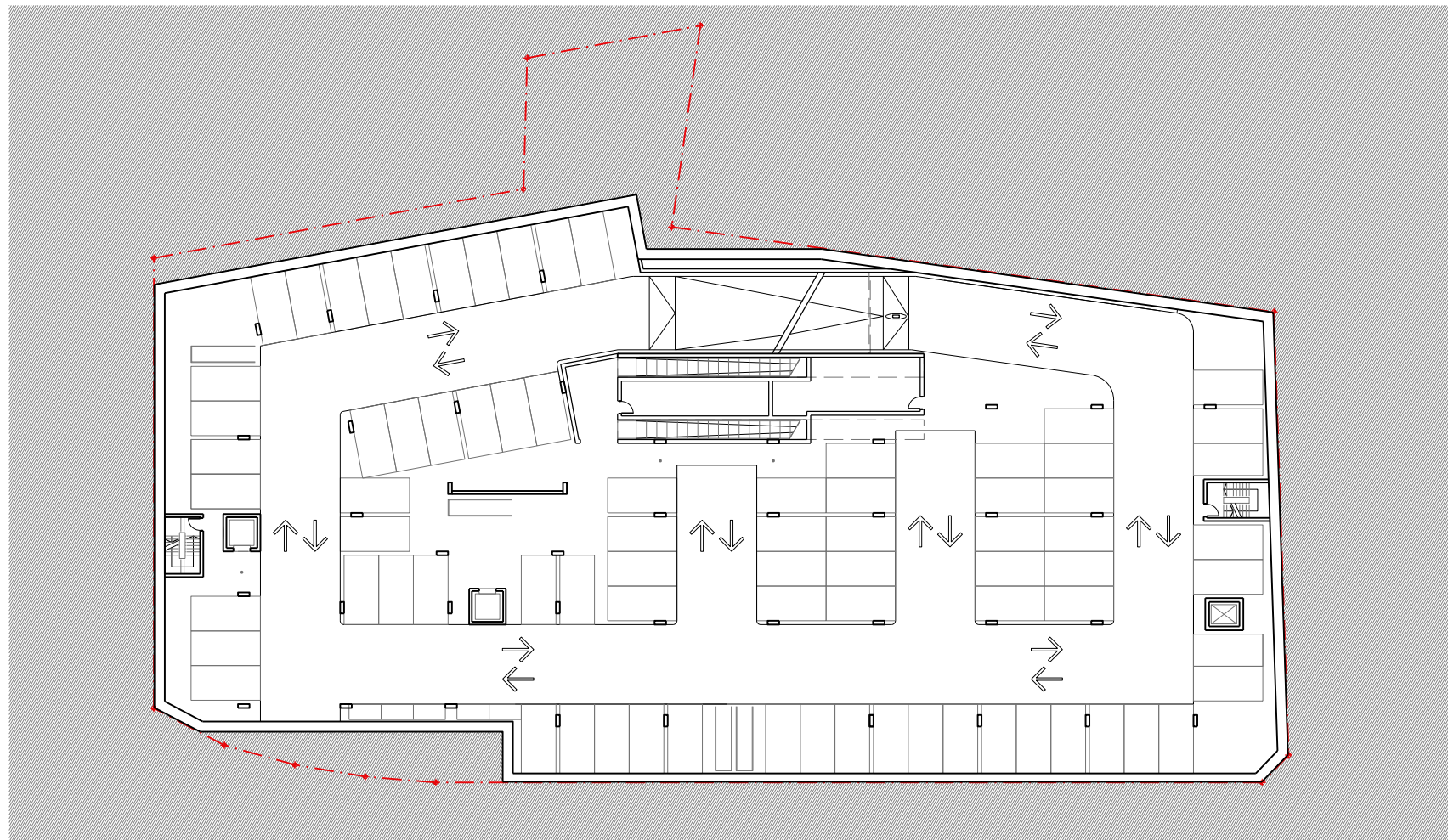
VIEW FROM THE SUN – 3PM
9 AM – JUNE 21

INDICATES DIRECT SUN ACCESS TO GLAZING TO LIVING SPACE

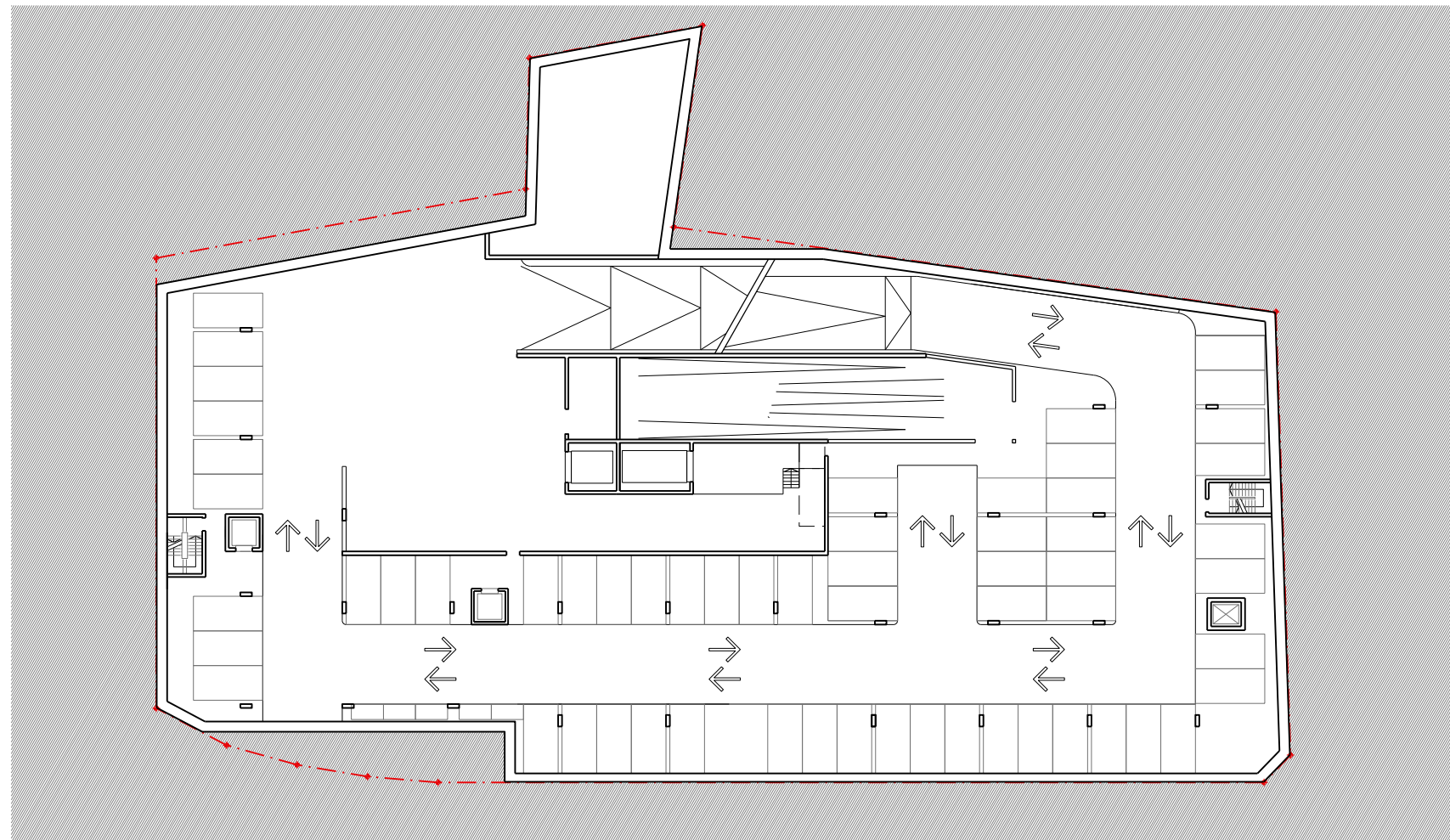




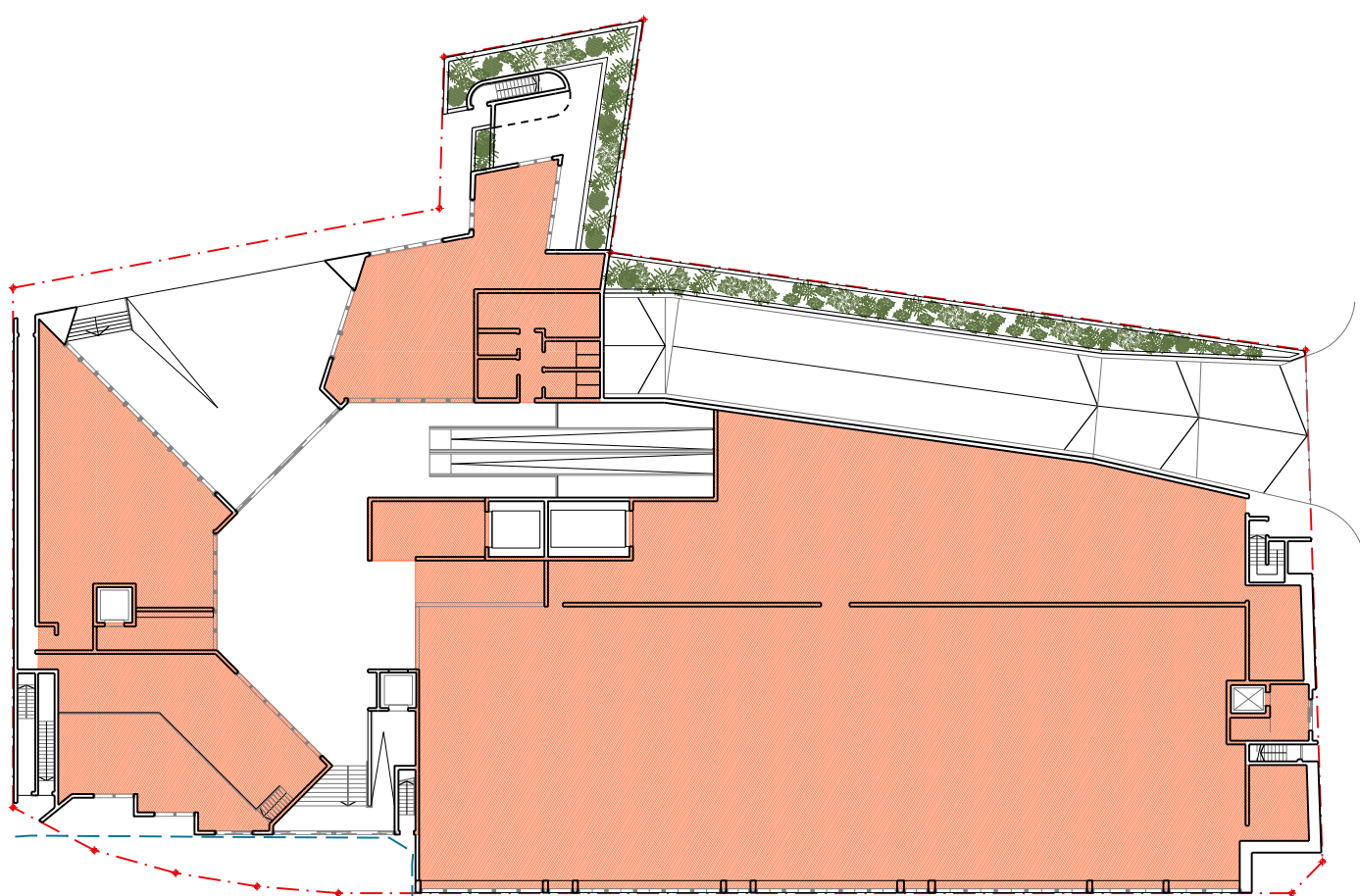
01 BASEMENT PLAN LEVEL 3
1:500 @ A1, 1:1000 @ A3



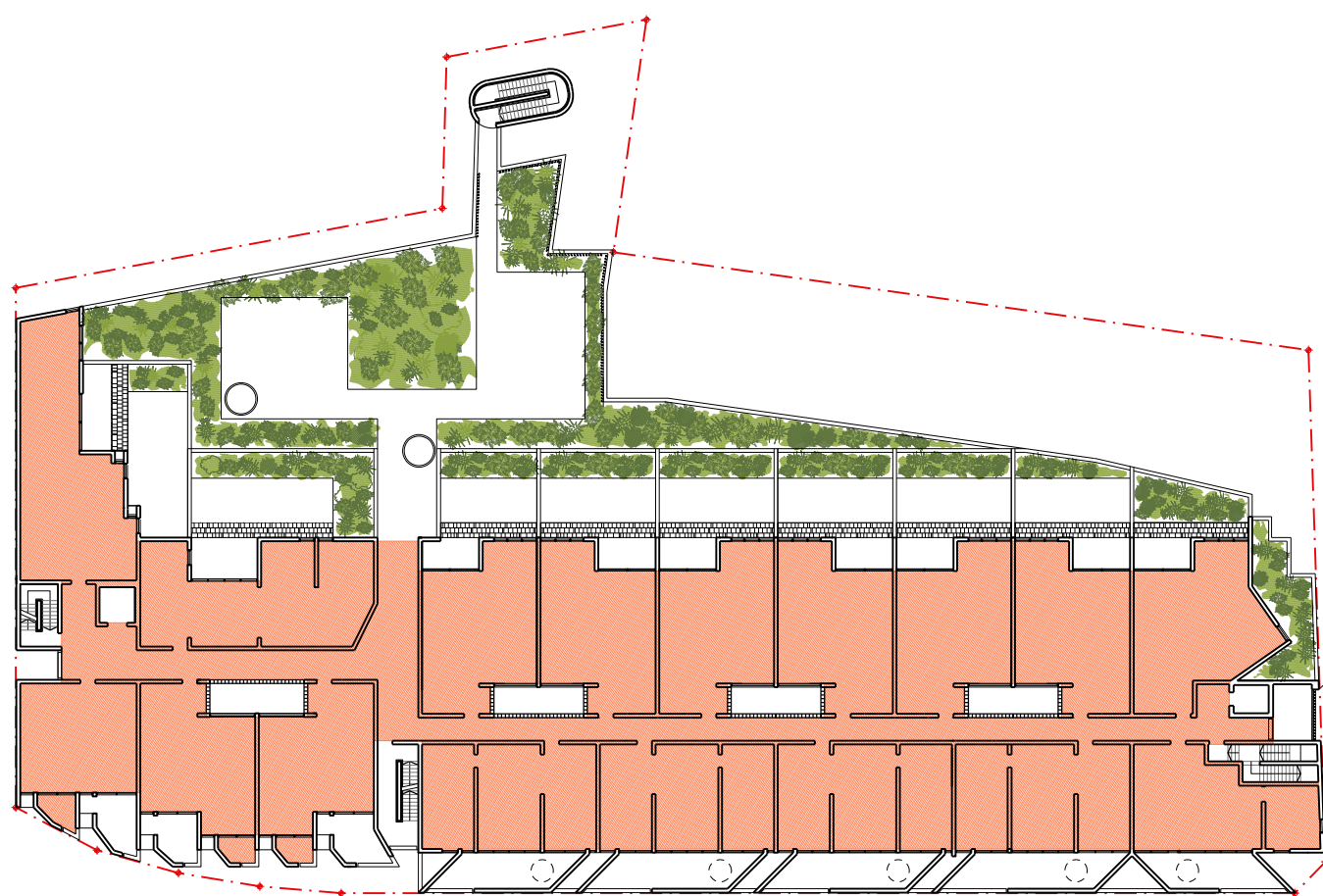
02 BASEMENT PLAN LEVEL 2
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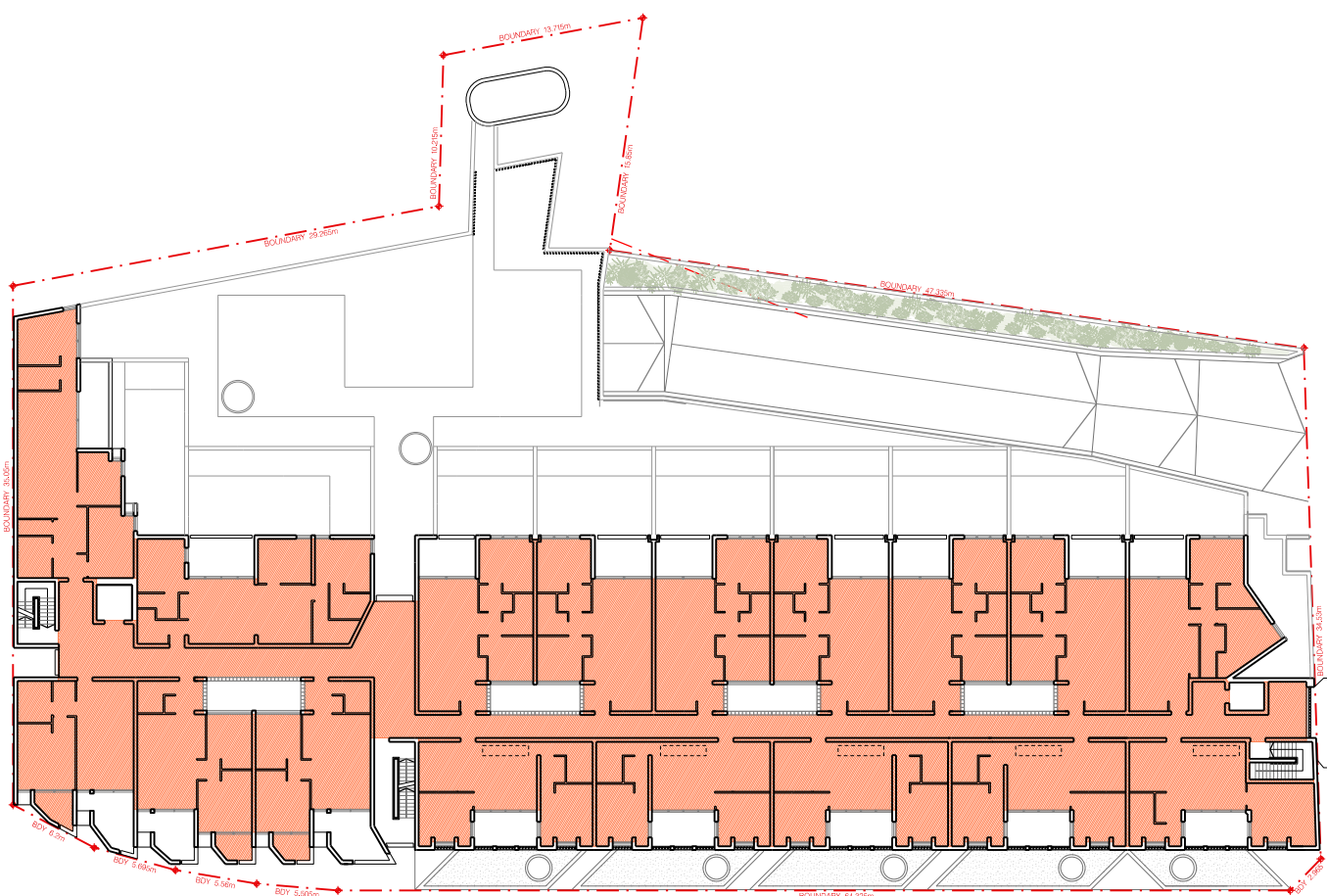
03 BASEMENT PLAN LEVEL 1
1:500 @ A1, 1:1000 @ A3



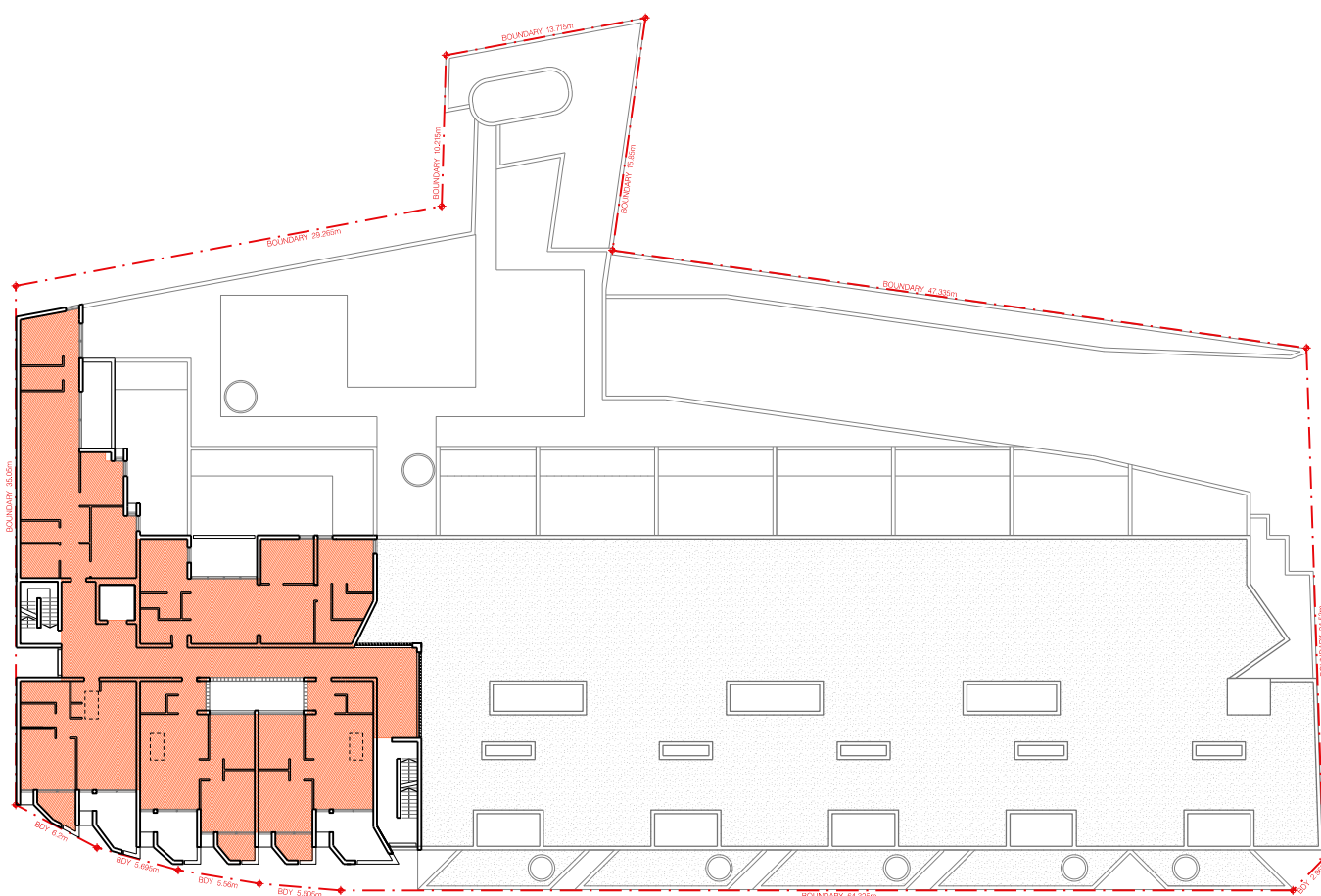
04 GROUND FLOOR
1:500 @ A1, 1:1000 @ A3



05 LEVEL 1 FLOOR PLAN
1:500 @ A1, 1:1000 @ A3



06 LEVEL 2 FLOOR PLAN
1:500 @ A1, 1:1000 @ A3



07 LEVEL 3 AND 4 FLOOR PLAN
1:500 @ A1, 1:1000 @ A3

DEVELOPMENT ANALYSIS

EAST SITE	2 602 SQM (69 % OF TOTAL SITE)	
WEST SITE	1 178 SQM (31 % OF TOTAL SITE)	
TOTAL SITE AREA	3 780 SQM	
PERMISSIBLE	FSR - EAST SITE	1.5 : 1
	FSR - WEST SITE	2.0 : 1
	GFA - EAST SITE	3 866
	GFA - WEST SITE	2 424
	GFA - MAX	6 290
	FSR - TOTAL	1.66 : 1

GFA CALCULATIONS (m²)

	EAST	WEST	TOTAL
BASEMENT LEVEL 3	-	-	-
BASEMENT LEVEL 2	-	-	-
BASEMENT LEVEL 1	-	-	-
GROUND (RETAIL)	1 741	456	2 197
LEVEL 1 (RESIDENTIAL)	1 070	525	1 595
LEVEL 2 (RESIDENTIAL)	1 004	509	1 513
LEVEL 3 (RESIDENTIAL)	-	490	490
LEVEL 3 (RESIDENTIAL)	-	490	490
TOTAL GFA	3 815	2 470	6 285

FSR CALCULATIONS - COMBINED SITE

SITE AREA	AREA	FSR
3 780 m ²		
RETAIL / COMMERCIAL FACILITIES PROPOSED GFA	2 197	0.58 : 1
RESIDENTIAL COMPONENT PROPOSED GFA	4 088	1.08 : 1
TOTAL PROPOSED GFA	6 285	1.66 : 1

FSR CALCULATIONS - BY EAST AND WEST SITE

AREA	AREA	FSR
EAST SITE	2 602 m ²	
WEST SITE	1 178 m ²	
PROPOSED GFA EAST	3 815	1.47 : 1
PROPOSED GFA WEST	2 470	2.10 : 1

PROPOSED DEVELOPMENT MIX

	1 BED	2 BED	3 BED	UNIT/LEVEL
LEVEL 1	1	14	2	17
LEVEL 2	2	13	2	17
LEVEL 3	1	2	2	5
LEVEL 4	1	2	2	5
TOTAL	5 (11%)	31 (71%)	8 (18%)	44

*HDCP REQUIRES 1 ADAPTABLE UNIT PER 10 DWELLINGS OR PART THEREOF

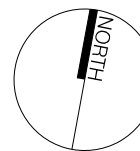
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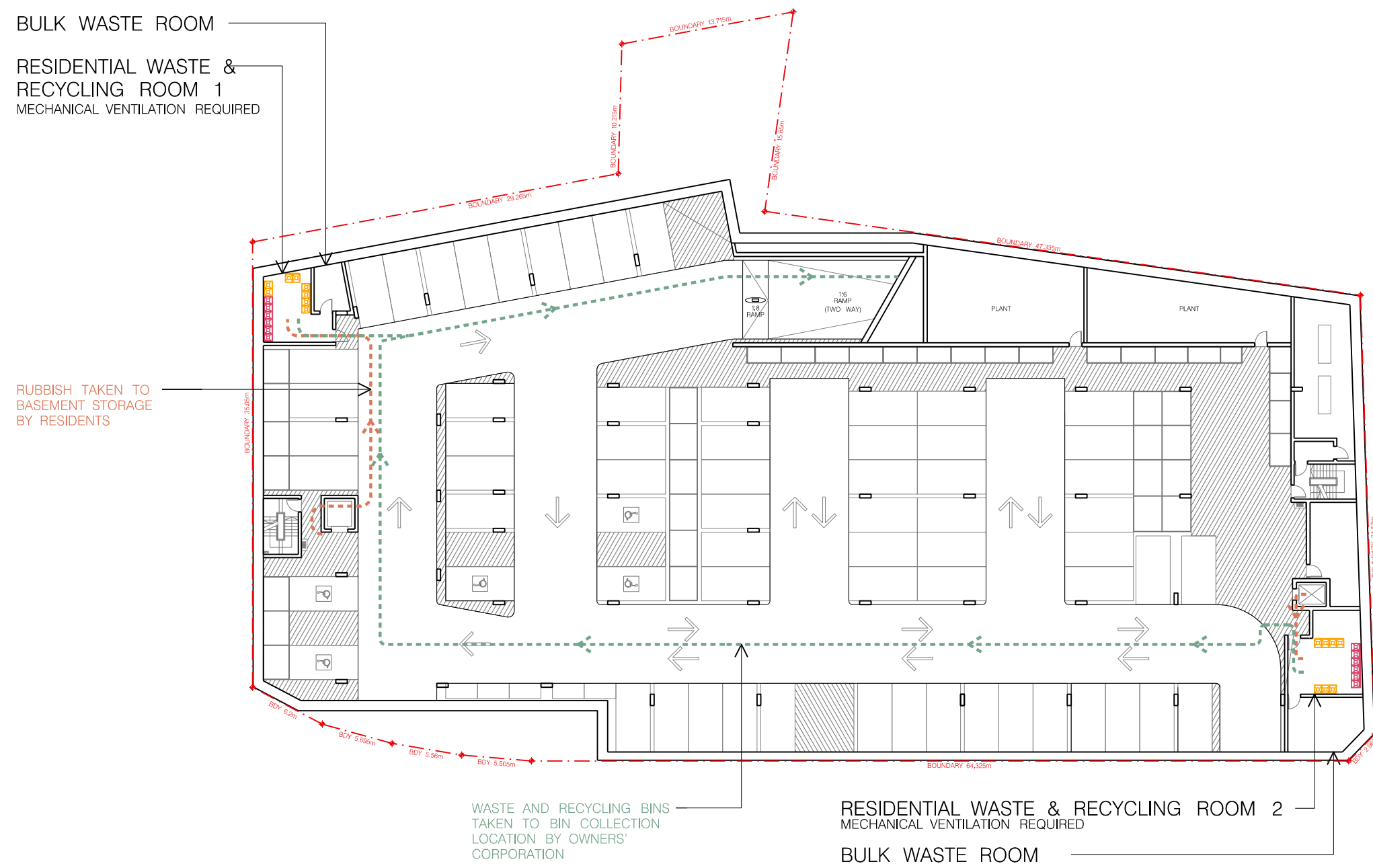
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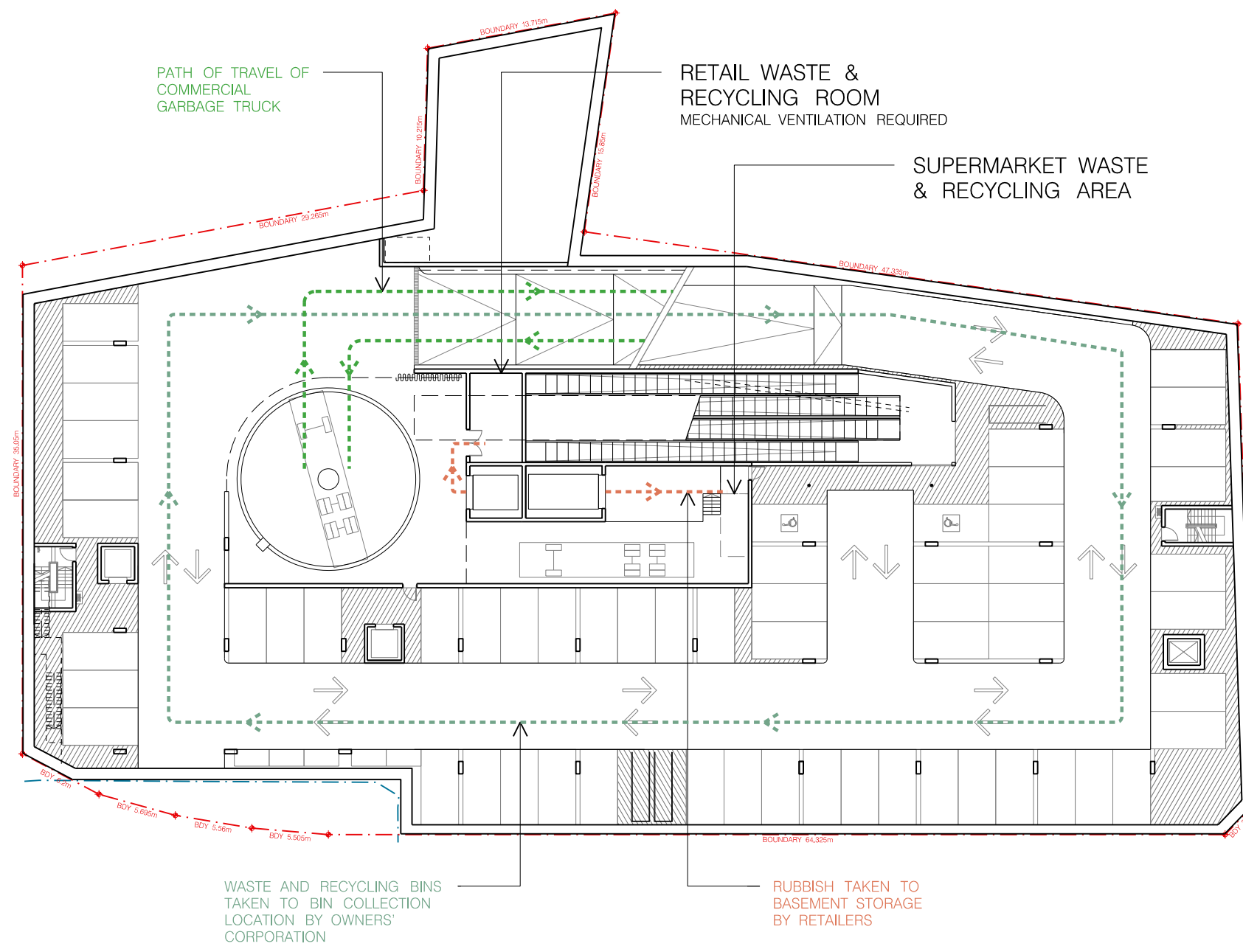
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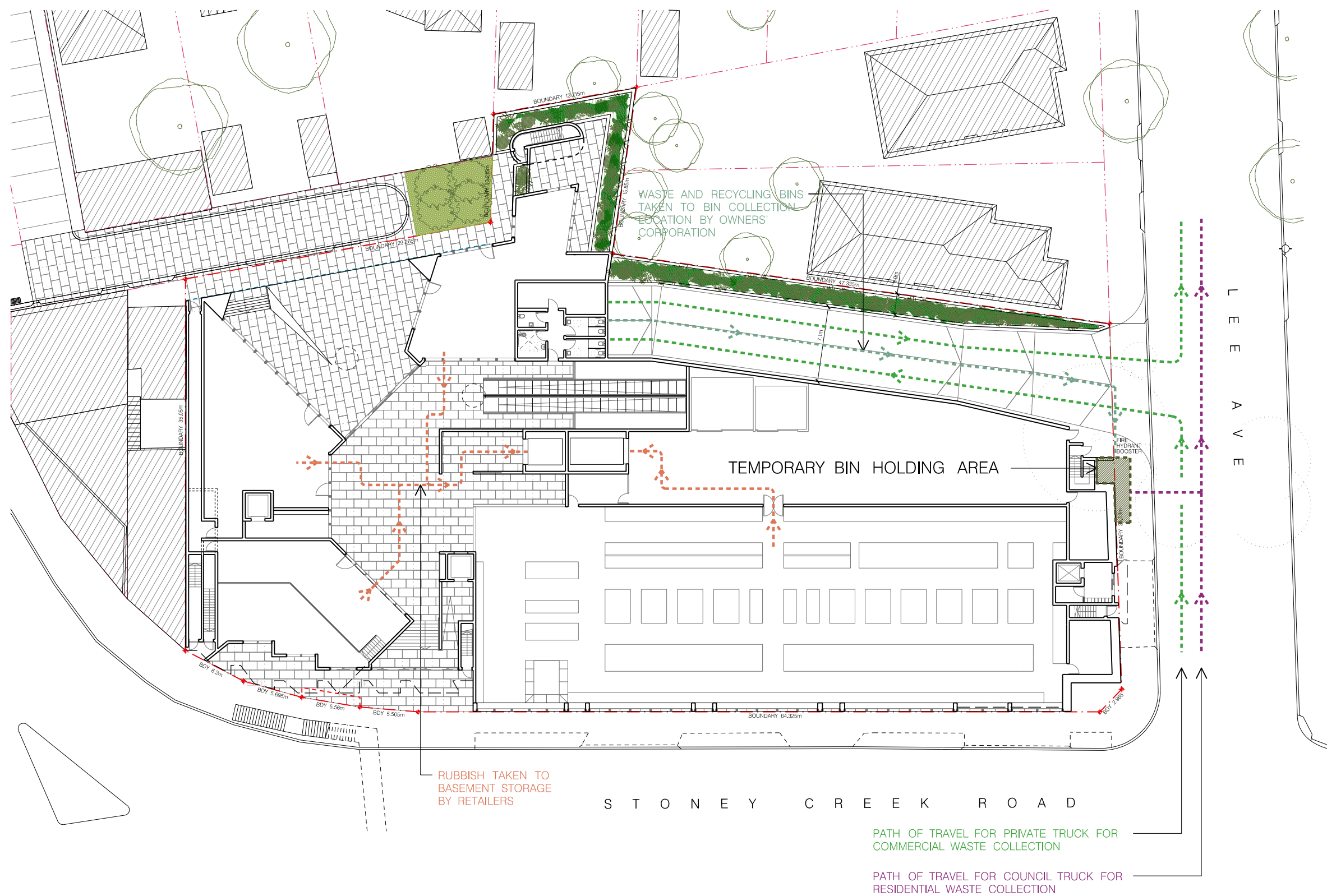
01 BASEMENT LEVEL 3 PLAN

1:400



02 BASEMENT LEVEL 1 PLAN

1:400



03 GROUND FLOOR PLAN

1:400



04 LEVEL ONE PLAN (INDICATIVE OF RESIDENTIAL LEVELS)

1:400

ONGOING WASTE GENERATION CALCULATIONS – RESIDENTIAL WASTE

TOTAL NUMBER OF UNITS: 44 UNITS
NOTE: WASTE GENERATION RATES DERIVED FROM HURSTVILLE DCP NO.1 (AMENDMENT NO.5) – APPENDIX 1 – WASTE MANAGEMENT PLAN

GARBAGE WASTE	
WEEKLY GARBAGE GENERATION RATE PER UNIT:	120L
WEEKLY GARBAGE GENERATION RATE ALL UNITS:	120L X 44 = 5280L
GARBAGE BIN ALLOCATION:	
1 x 240L GARBAGE BIN PER 4 UNITS COLLECTED TWICE WEEKLY	44 UNITS / 4 = 11 GARBAGE BINS

RECYCLING WASTE	
WEEKLY RECYCLING GENERATION RATE PER UNIT:	80L
WEEKLY RECYCLING GENERATION RATE ALL UNITS:	80L X 44 = 3520L
RECYCLING BIN ALLOCATION:	
1 x 240L RECYCLING BIN PER 3 UNITS COLLECTED WEEKLY	44 UNITS / 3 = 15 RECYCLING BINS

TOTAL BINS PROVIDED: 26 x 240L BINS

BIN STORES

RESIDENTIAL WASTE ROOM 1
6 X 240L GARBAGE BINS + 8 X 240L RECYCLING BINS

RESIDENTIAL WASTE ROOM 2
5 X 240L GARBAGE BINS + 7 X 240L RECYCLING BINS

ONGOING WASTE GENERATION CALCULATIONS – COMMERCIAL WASTE

TOTAL GENERAL RETAIL SPACE: 602m²
NOTE: WASTE GENERATION RATES DERIVED FROM HURSTVILLE DCP NO.1 (AMENDMENT NO.5) – APPENDIX 1 – WASTE MANAGEMENT PLAN

GARBAGE WASTE	
GARBAGE GENERATION RATE:	
GENERAL RETAIL	50L / 100m ² / DAY
FOOD PREMISES	80L / 100m ² / DAY
CAFE / RESTAURANT	10L / 1.5m ² / DAY

RECYCLING WASTE	
RECYCLING GENERATION RATE:	
GENERAL RETAIL	50L / 100m ² / DAY
FOOD PREMISES	VARIABLE
CAFE / RESTAURANT	2L / 1.5m ² / DAY

TOTAL SUPERMARKET SPACE: 1529m²

GARBAGE WASTE	
GARBAGE GENERATION RATE:	
SUPERMARKET	240L / 100m ² / DAY
TOTAL GARBAGE WASTE	3840L / DAY

RECYCLING WASTE	
RECYCLING GENERATION RATE:	
SUPERMARKET	240L / 100m ² / DAY
TOTAL RECYCLING WASTE	3840L / DAY

LEGEND

- PATH OF TRAVEL – TO ON STREET WASTE PICK-UP
- RESIDENTS / OWNERS CORPORATION / RETAIL PATH OF TRAVEL TO WASTE STORAGE ROOM
- GARBAGE TRUCK PATH OF TRAVEL – PRIVATE CONTRACTOR FOR COMMERCIAL WASTE COLLECTION
- GARBAGE TRUCK PATH OF TRAVEL – COUNCIL TRUCK FOR RESIDENTIAL WASTE COLLECTION
- WASTE BIN (240L)
- RECYCLE BIN (240L)
- GREEN WASTE BIN (240L)
- WASTE PICKUP LOCATION

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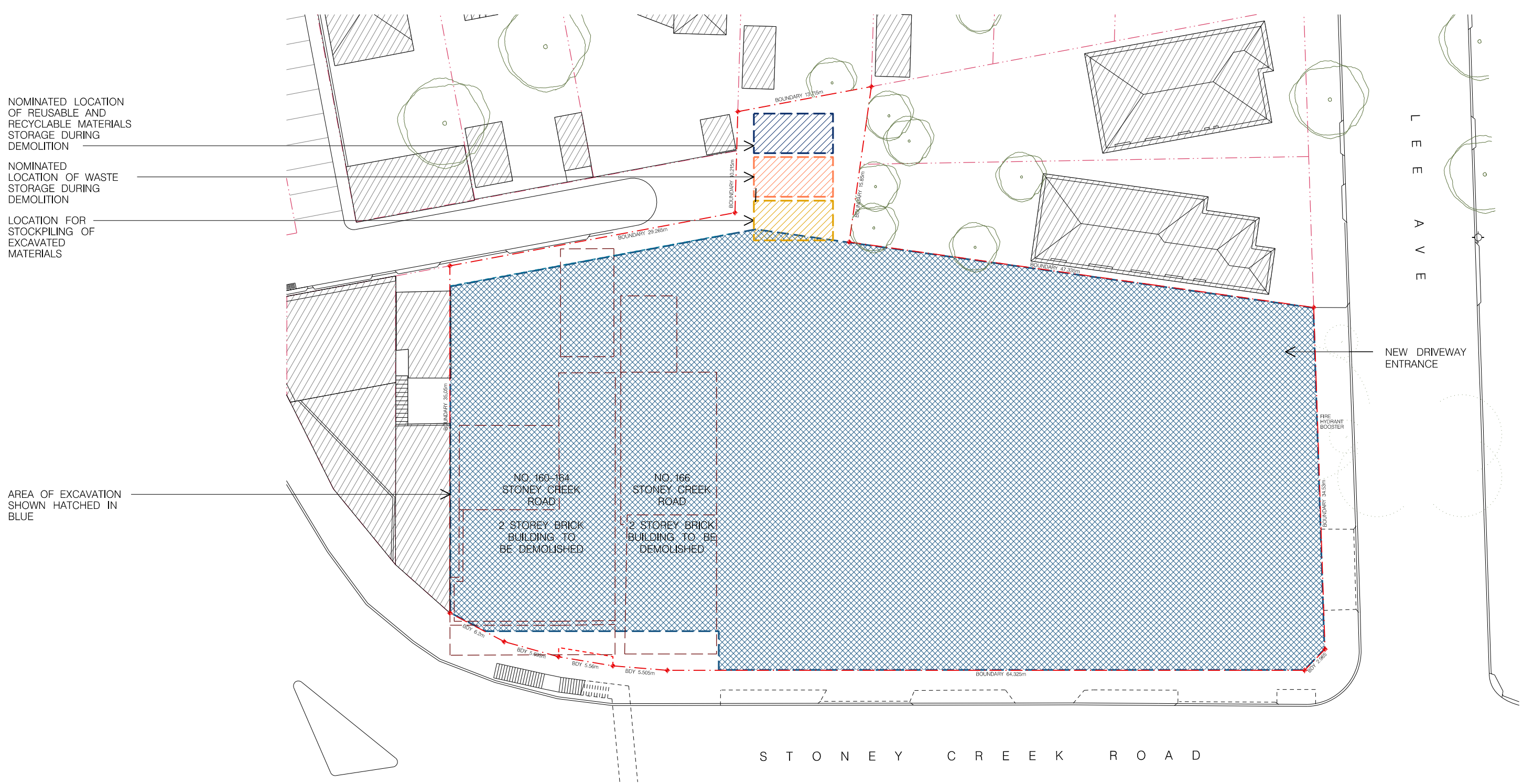
PROJECT:
160–178 STONEY CREEK ROAD,
BEVERLY HILLS
CLIENT:
CUZENO BUILDERS AND DEVELOPERS

SCALE: 1:200@A1
0 5m 10m

DATE:
15 MAR. 2017
CHECKED 1:
FM
CHECKED 2:
–
DRAWN BY:
JL, DB

DRAWING:
WASTE
MANAGEMENT
PLAN
DRAWING No.
DA – 1851

JOB No.
5728
ISSUE
A



CONSTRUCTION WASTE MANAGEMENT

WASTE & MATERIALS HANDLING

ALL CONSTRUCTION AND WASTE MATERIALS TO BE STORED IN BASEMENT CARPARK DURING CONSTRUCTION STAGE. SITE SHED AND AMENITIES LOCATED IN BASEMENT CARPARK FOR THE DURATION OF THE CONSTRUCTION PERIOD.

ALL DEMOLITION AND EXCAVATION MATERIALS TO BE COLLECTED DAILY FROM SITE DURING DEMOLITION / EXCAVATION STAGE.

WATER & SEDIMENT CONTROL MEASURES

1. PRE-EXISTING SITE ACCESS POINTS ARE RETAINED DURING CONSTRUCTION. SITE ACCESS POINTS ARE STABILISED WITH GEO-TEXTILE FABRIC AND BLUE METAL. A VEHICLE GRID ENSURES MINIMAL SOIL PARTICLES ARE REMOVED FROM THE SITE.
2. GEO-TEXTILE SEDIMENT FENCES ARE LOCATED ALONG THE LOWER SITE BOUNDARIES TO PREVENT RUNOFF.
3. KERBSIDE DRAINS ARE PROTECTED WITH GRAVEL SAUSAGES.
4. MATERIAL STOCKPILES ARE COVERED AND LOCATED WITHIN SEDIMENT FENCES.
5. EXCAVATED MATERIAL IS PLACED UPSLOPE OF SERVICE TRENCHES. TRENCHES ARE FILLED AND COMPACTED IMMEDIATELY AFTER INSTALLATION OF SERVICES.
6. PAVED AREAS AND FOOTPATHS ARE SWEEPED DAILY AND SEDIMENT IS COLLECTED.
7. EROSION AND SEDIMENT CONTROLS ARE TO BE CHECKED DAILY AND REPAIRED WHEN NECESSARY.

LEGEND

- AREA TO BE EXCAVATED
- MATERIALS FOR REUSE / RECYCLING
- WASTE MATERIALS
- EXCAVATION MATERIALS

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PROJECT:
160-178 STONEY CREEK ROAD,
BEVERLY HILLS

CLIENT:
CUZENO BUILDERS AND DEVELOPERS

SCALE: 1:200@A1
0 5m 10m

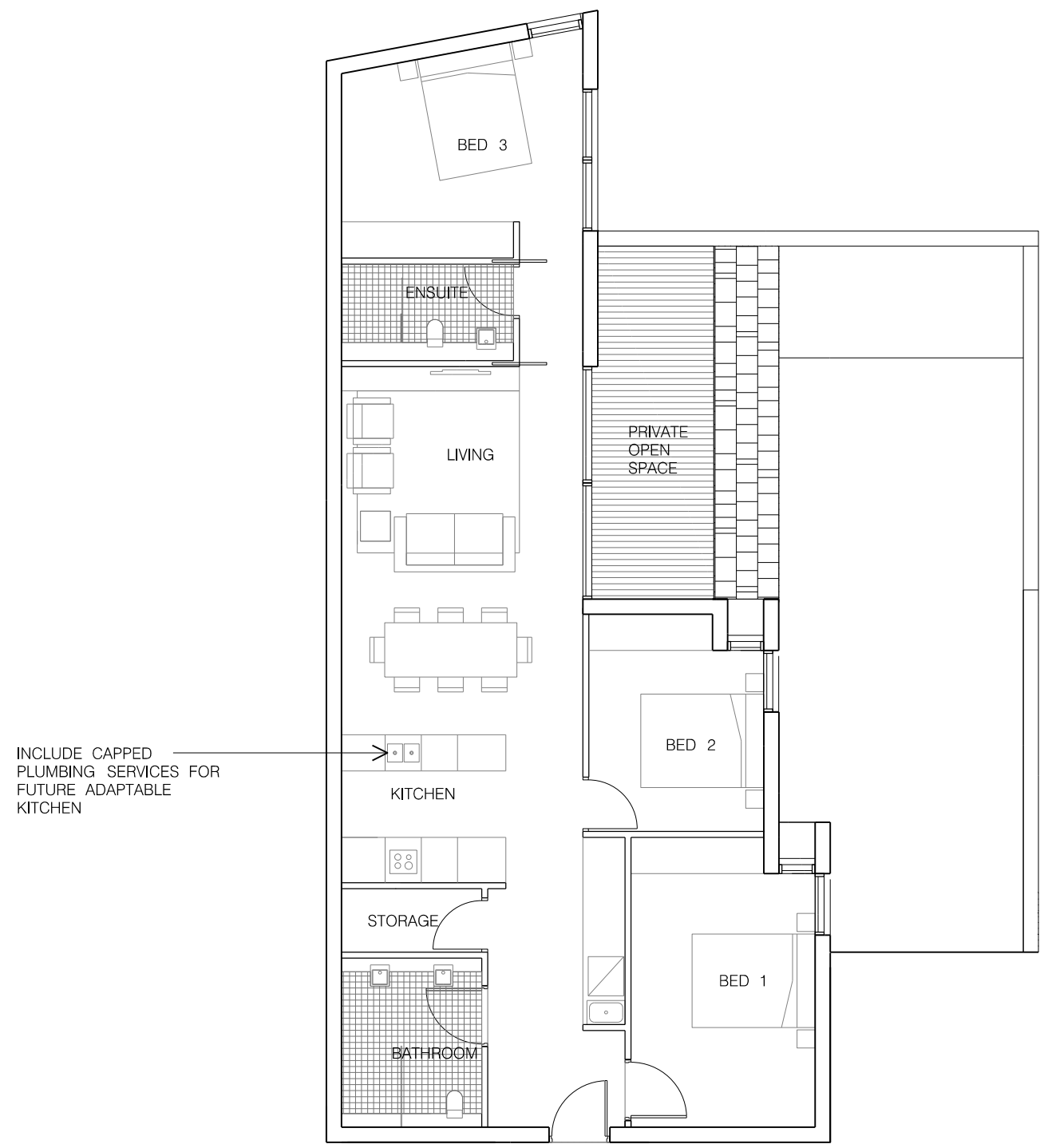
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DRAWN BY:
JL, DB

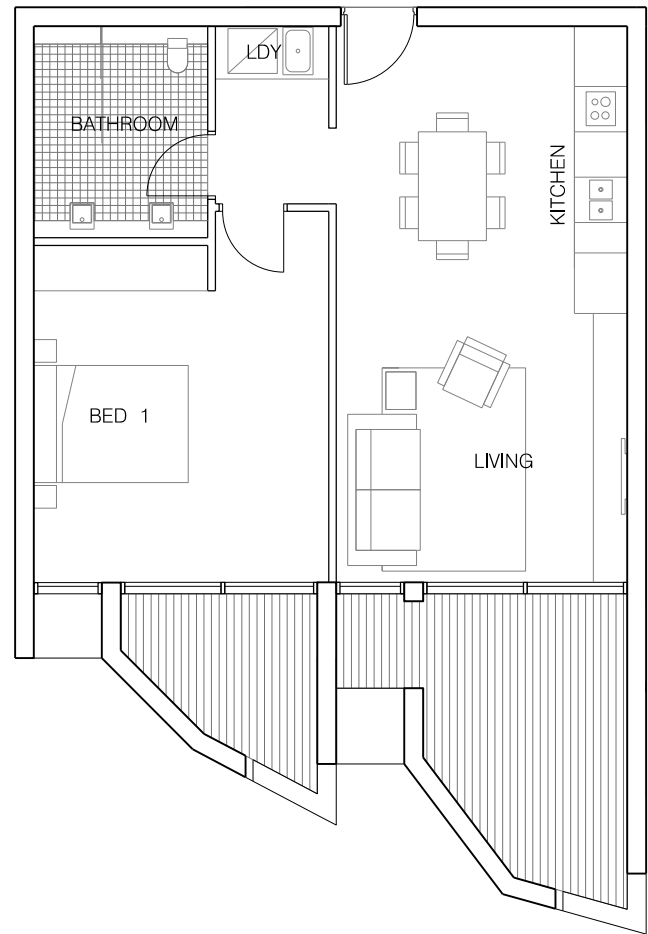
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WASTE
MANAGEMENT
PLAN - SHEET 02

DRAWING No.
DA - 1852

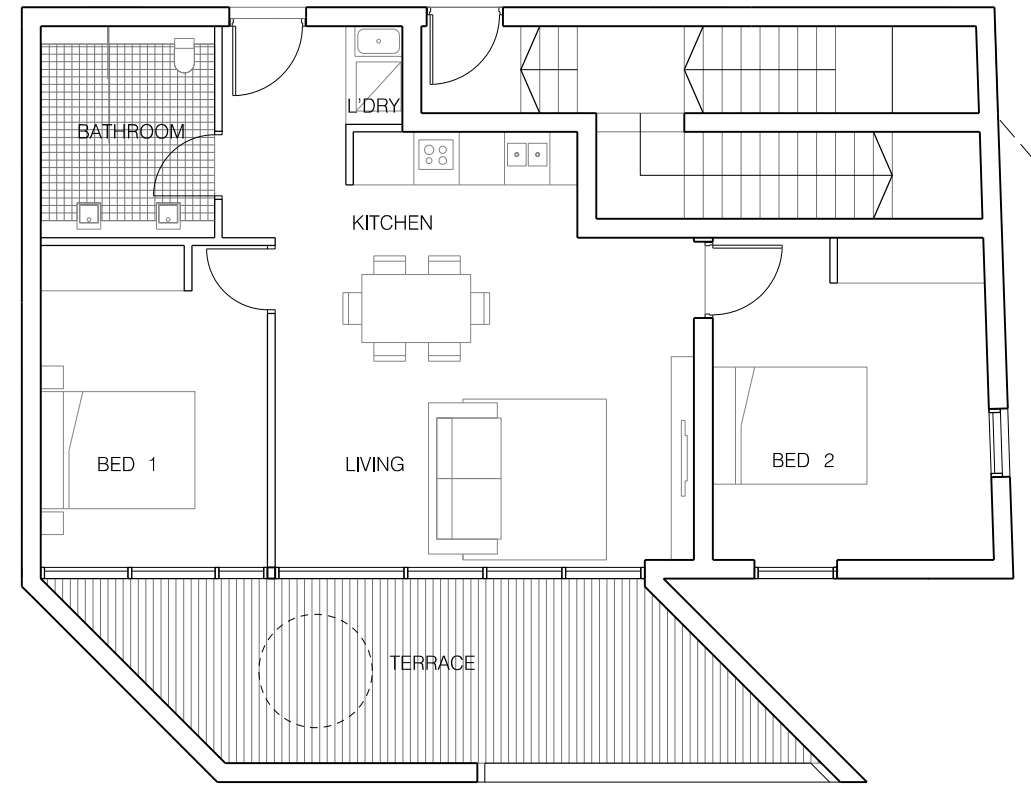
JOB No.
5728
ISSUE
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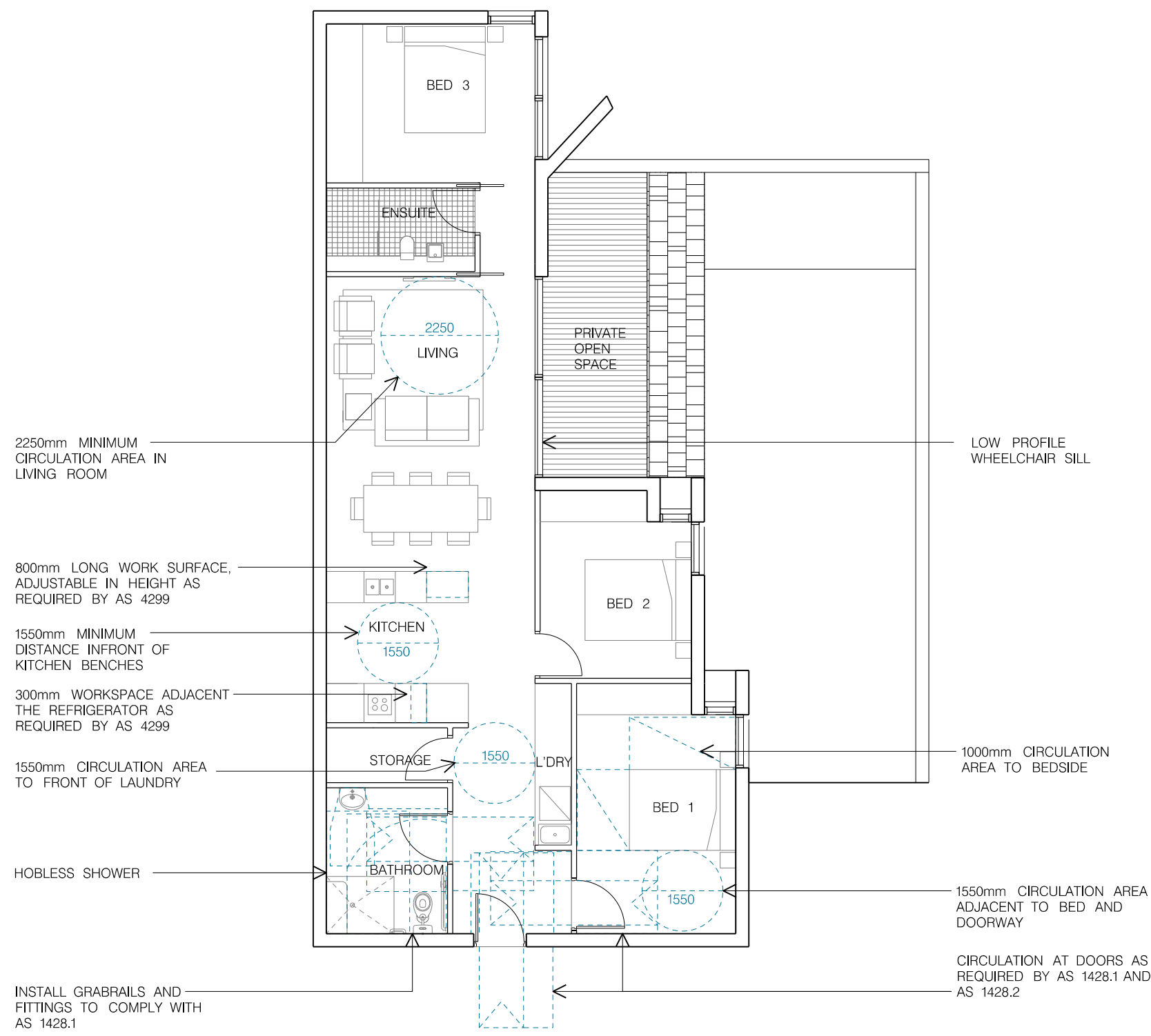
01 ADAPTABLE UNIT PLAN A (PRE ADAPTATION)
1:100 (UNIT 1.04, 2.04)



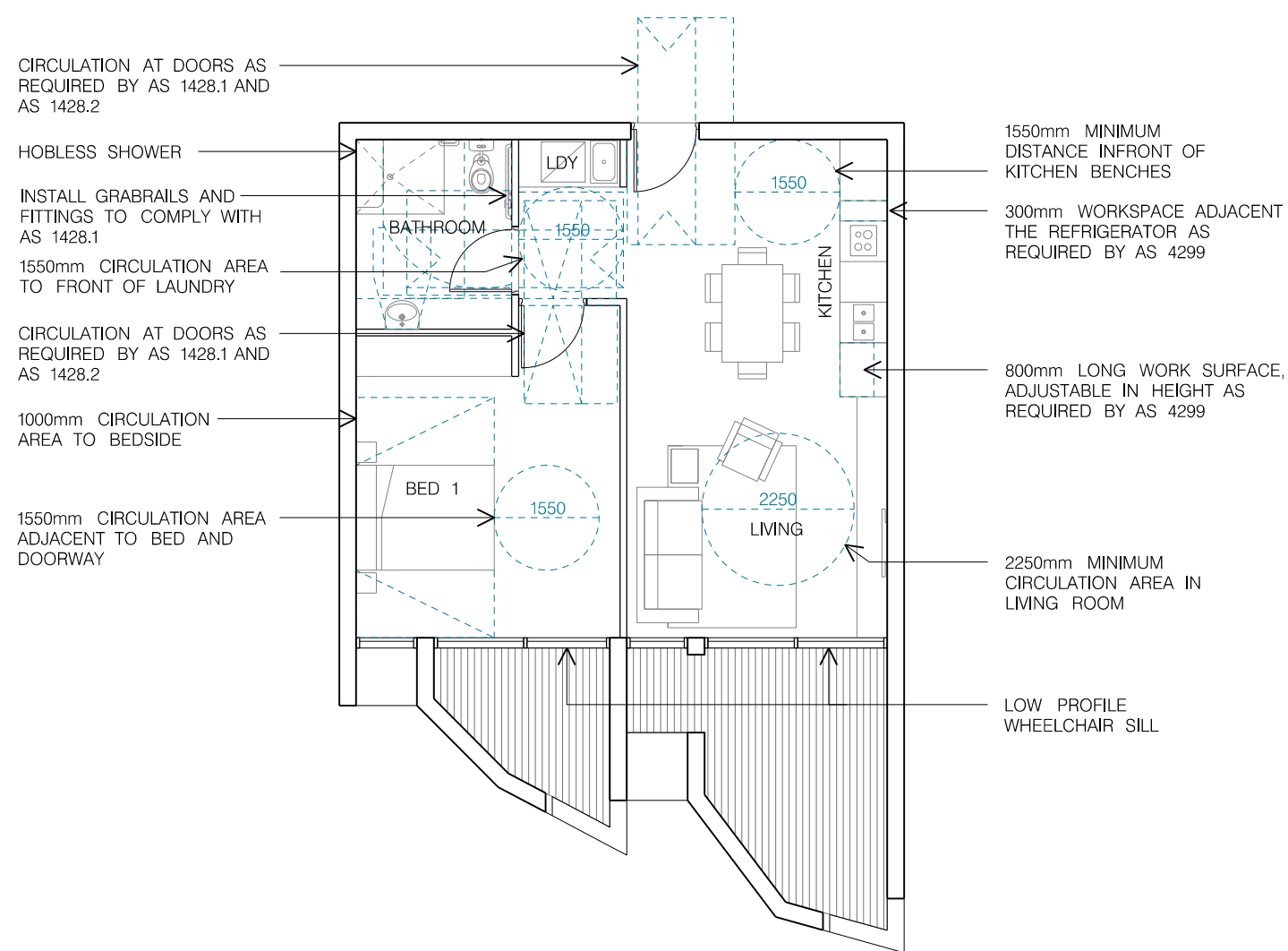
02 ADAPTABLE UNIT PLAN B (PRE ADAPTATION)
1:100 (UNIT 1.03, 2.03)



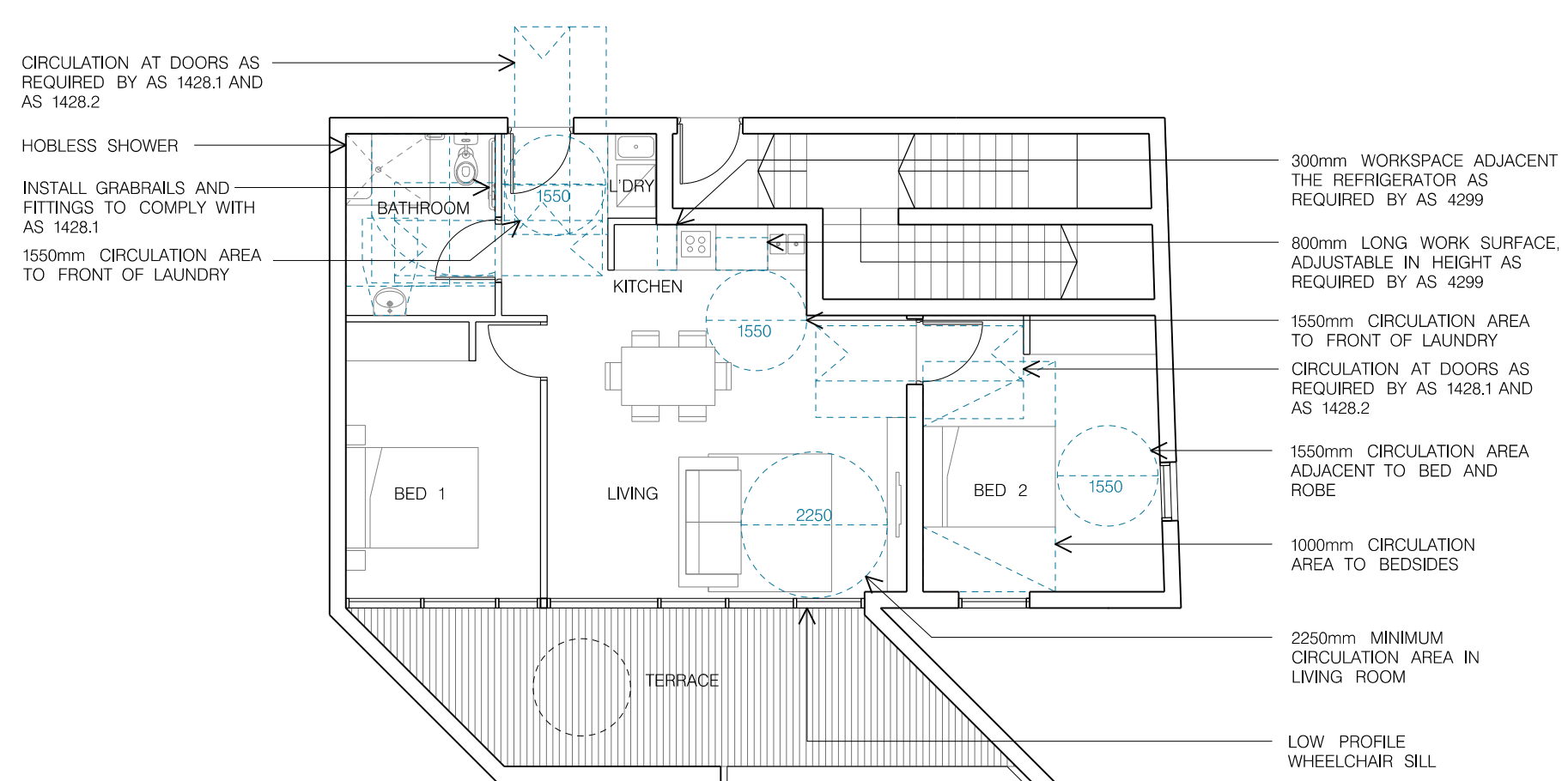
03 ADAPTABLE UNIT PLAN C (PRE ADAPTATION)
1:100 (UNIT 1.10)



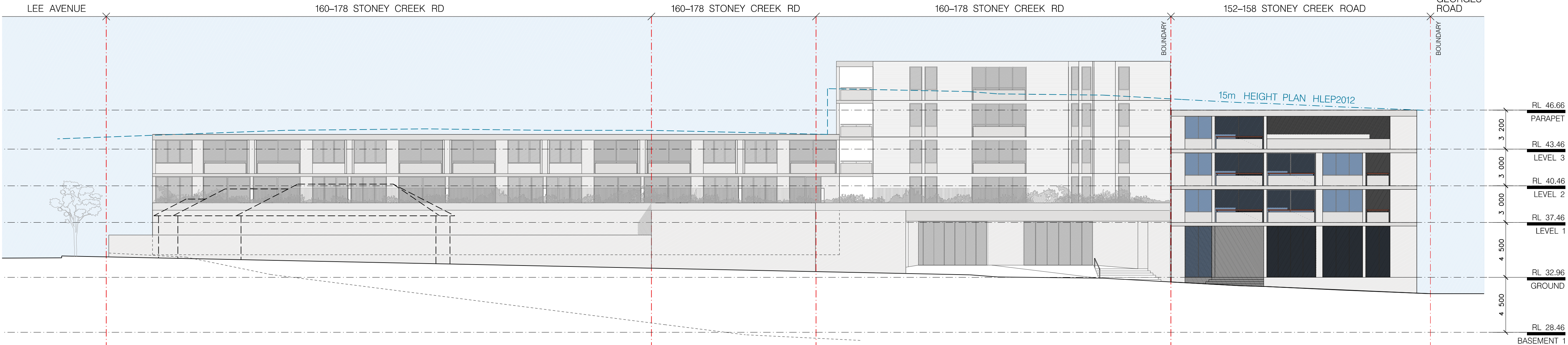
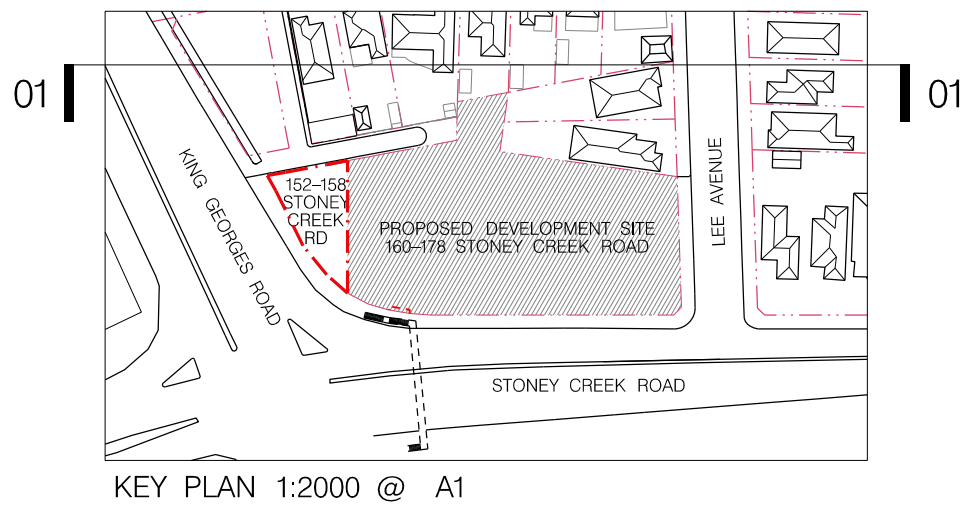
04 ADAPTABLE UNIT PLAN A (POST ADAPTATION)
1:100



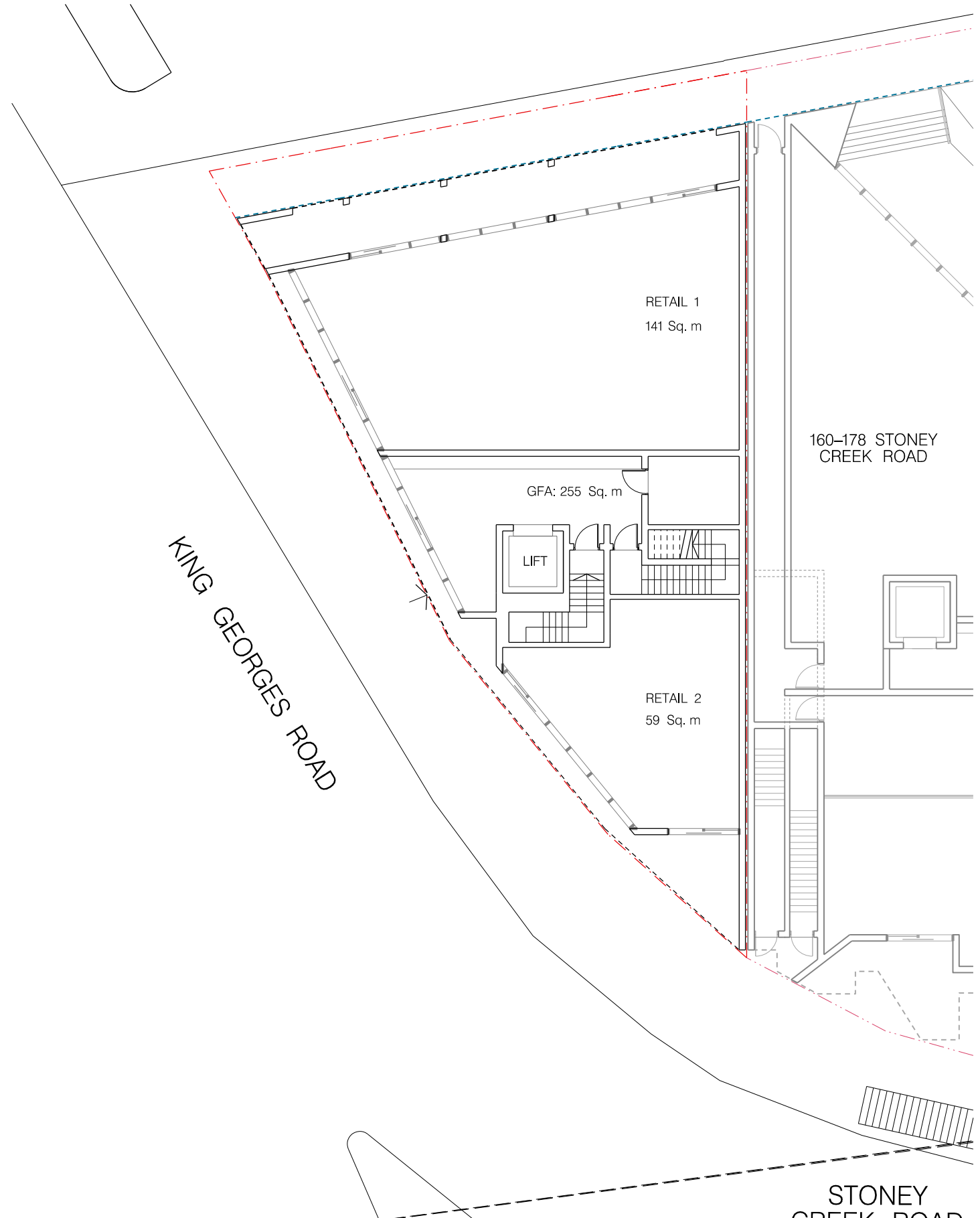
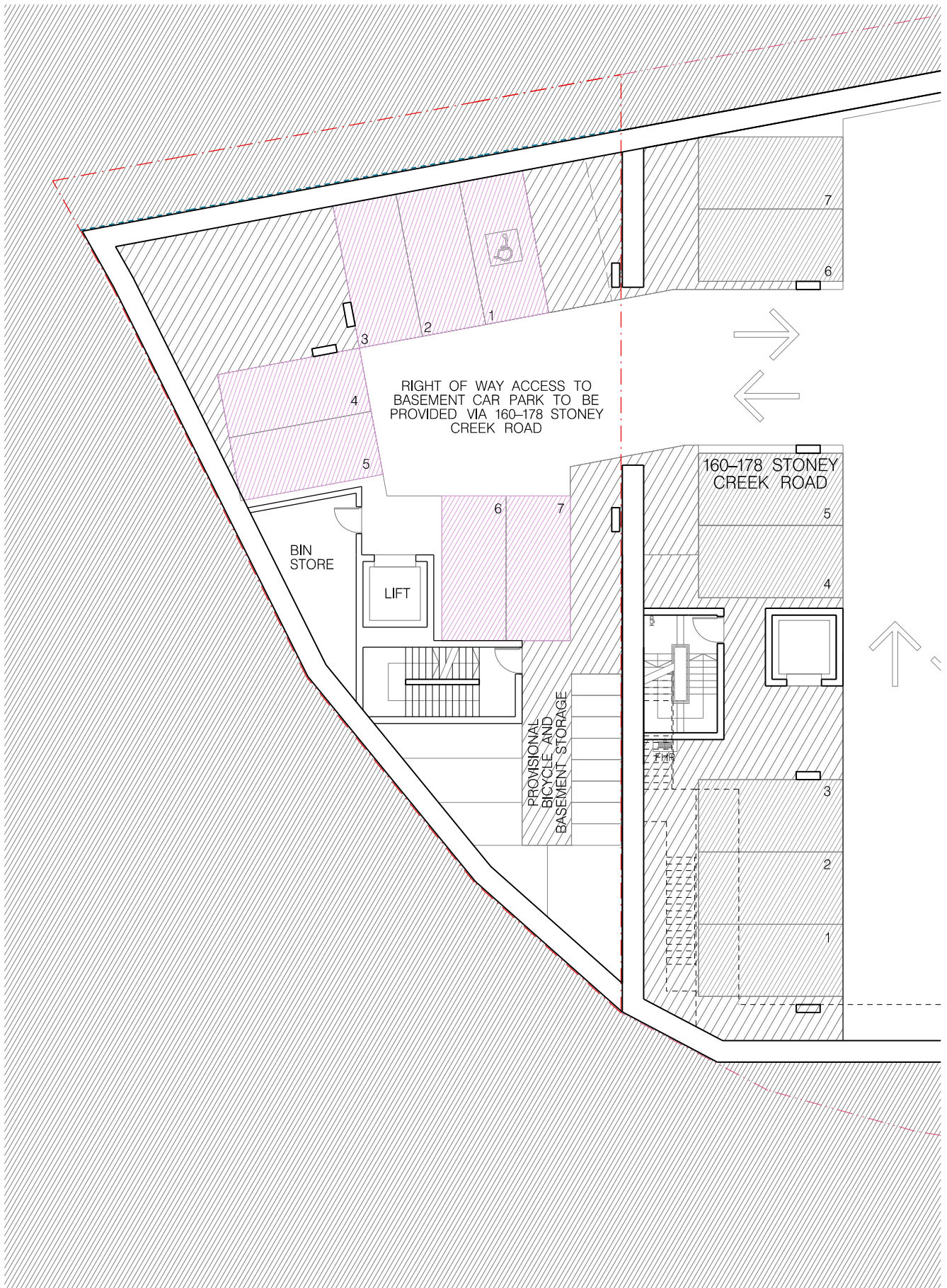
05 ADAPTABLE UNIT PLAN B (POST ADAPTATION)
1:100



06 ADAPTABLE UNIT PLAN C (POST ADAPTATION)
1:100



DEVELOPMENT ANALYSIS				
TOTAL SITE AREA	425 SQM			
PERMISSIBLE	FSR		2 : 1	
	GFA	m ²	SITE	850 SQM
AREA CALCULATIONS				
	GFA	m ²	SITE	FSR
G	255			
L1	224			
L2	224			
L3	147			
TOTAL	850		425	2:1
UNIT MIX				
LEVEL	1 BED	2 BED	3 BED	
L1	1	2	0	
L2	1	2	0	
L3	1	1	0	
	3	5	0	
TOTAL	8 (1 ADAPTABLE*)			
*HDCP REQUIRES 1 ADAPTABLE UNIT PER 10 DWELLINGS OR PART THEREOF				
AMENITY CALCULATIONS				
LEVEL	SOLAR ACCESS	CROSS VENT.		
L1	2	3		
L2	2	3		
L3	2	2		
TOTAL	6 (75%)	8 (100%)		
CAR PARK SUMMARY				
RESIDENTIAL (1 DISABLED SPACE REQUIRED)				8
VISITOR PARKING*				2
RETAIL PARKING** (200 SQM GLFA)				12
(1 DISABLED SPACE REQUIRED - BCA)				
TOTAL				22
*RATES AS PER CLAUSE 4.3.2.6 OF HURSTVILLE DCP NO.1 2012:				
1 BED APT. - 1 SPACE PER UNIT				
2 BED APT. - 1 SPACE PER UNIT				
3 BED APT. - 2 SPACE PER UNIT				
*RATES AS PER SECTION 3.1 - PART 2, HURSTVILLE DCP NO.1 (AMENDMENT NO.5) FOR 'RETAIL PREMISES':				
RETAIL PARKING - 6 PER 100 SQM GLFA (2% ACCESSIBLE)				



PRELIMINARY

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PROJECT:
160-178 STONEY CREEK ROAD,
BEVERLY HILLS
CLIENT:
CUZENO BUILDERS AND DEVELOPERS
SCALE: AS SHOWN
0 5m 10m

DATE:
14 OCT 2016
CHECKED 1:
GJ
CHECKED 2:
-
DRAWN BY:
JL, DB

DRAWING:
ADJACENT
DEVELOPMENT
FEASIBILITY
DRAWING No.
DA - 1951

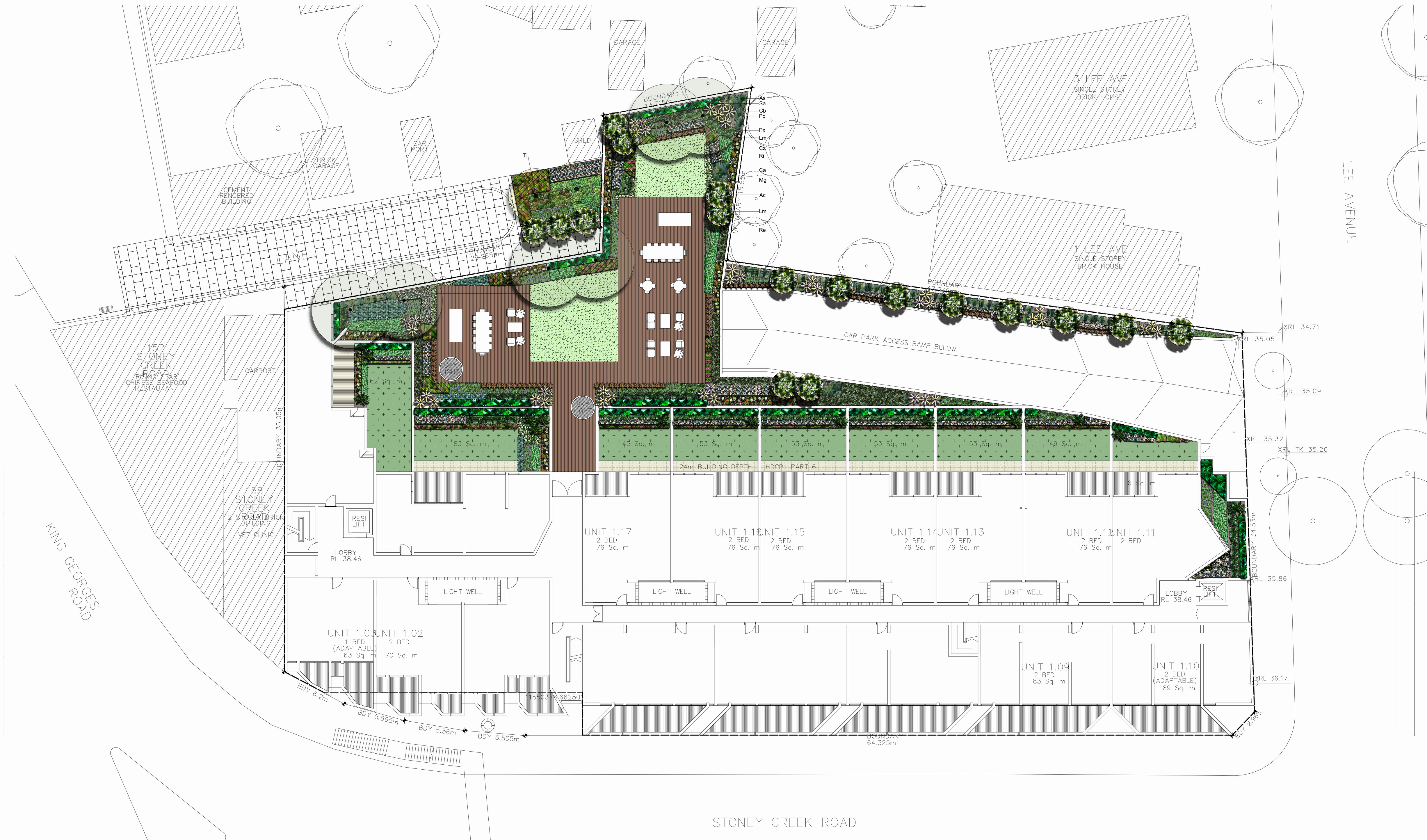
JOB No.
5728
ISSUE
P12



PHOTOMONTAGE 1 – CORNER OF KING GEORGES ROAD AND STONEY CREEK ROAD



PHOTOMONTAGE 2 – CORNER OF STONEY CREEK ROAD AND LEE AVENUE



KEY

Adenanthos sericeus compact (As)
- Adenanthos Silver Sensation

Arthropodium milleflorum (Am)
- Pale Vanilla Lily

Calathea zebrina (Cz)
- Zebra Plant

Cordylina banksii 'Electric Flash' (Cb)
- Cordylina Electric Flash

Curcuma alismatifolia 'Miss Pearl' (Ca)
- Ginger Miss Pearl

Cycas revoluta (Cr)
- Sago Palm

Dianella tasmanica 'Tas Red' (Dt)
- Tas Red

Liriope muscari 'Amethyst' (Lm)
- Purple Liriope Flower

Liriope muscari (Lmi)
- Isabella

Magnolia grandiflora 'Teddy Bear' (Mg)
- Magnolia Teddy Bear

Philodendron Xanadu (Px)
- Xanadu

Raphiolepis Indica (Ri)
- Snow Maiden

Rhapis excelsa (Re)
- Lady Palm

Syzigium australe 'Pinnacle' (Sa)
- Pinnacle

Sir Walter Buffalo Grass

Synthetic Turf

Outline of Basement Below

Adbri "Bi-pave" Ivory honed concrete pavers (or similar)

Tristaniopsis laurina 'Luscious' (Tl)
- Luscious Water Gum

Pistacia chinensis (Pc)
- Chinese Pistachio Tree

Archontophoenix cunninghamiana (Ac)
- Bangalow Palm

Syzigium australe 'Pinnacle'
- Pinnacle

Adenanthos cirrhatus
- Matapouri Bay

Clivea mineata
- Hybrid yellow

Dianella tasmanica 'Tas Red'
- Dianella Tas Red

Liriope muscari 'Amethyst'
- Purple Lily Flower

Magnolia grandiflora 'Teddy Bear'
- Magnolia Teddy Bear

Philodendron Xanadu
- Xanadu

Calathea Zebrina
- Zebra Plant

Rhapis excelsa
- Lady Palm

Raphiolepis Indica
- Snowmaiden

Liriope muscari
- 'Isabella'

Curcuma alismatifolia 'Miss Pearl'
- Ginger Miss Pearl

Archontophoenix cunninghamiana
- Bangalow Palm

AMENDMENTS		
DATE	NOTES	REV.
24.01.17	Ammendments	A

NOTES

All dimensions to be set out by contractor on site and confirmed by landscape architect prior to construction. Do not scale from drawing. Any discrepancies to be referred to landscape architect.

Tristaniopsis laurina 'Luscious'
- Luscious Water Gum

Adenanthos sericeus compact
- Adenanthos Silver Sensation

Pistacia chinensis
- Chinese Pistacio Tree

PROJECT
160-178 Stoney Creek Rd
Beverly Hills

DRAWING
Preliminary Landscape
Plan for DA

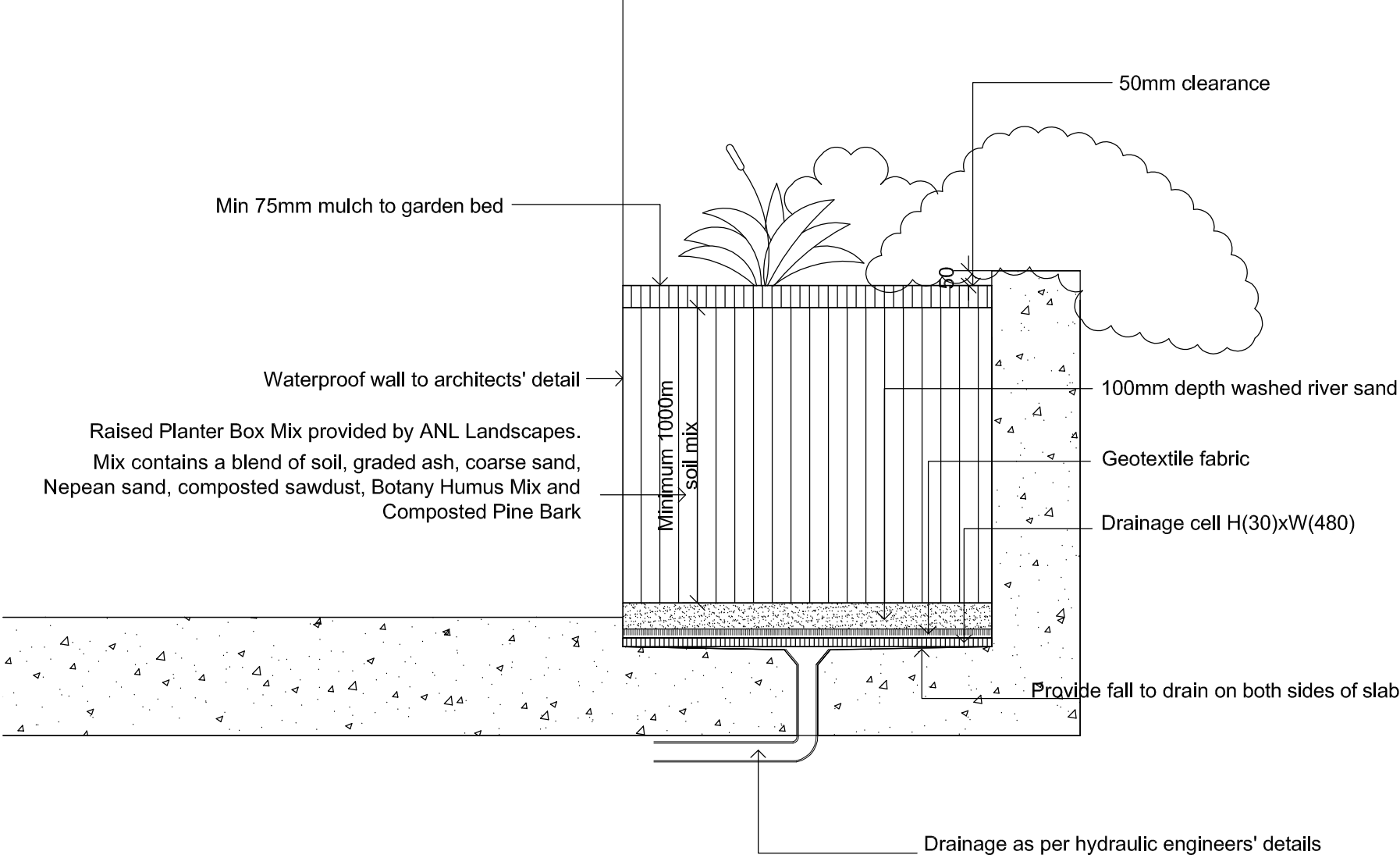
DRAWING NUMBER
ED-043-001

REV.
A

SCALE
1: 200 @ A1

Elysium Design
Landscape Architecture | Garden Design
33 Bernard Road, Padstow Heights
0410 643 685 cjabbour23@hotmail.com

Planting Schedule								
Abrev	Botanical Name	Common Name	Spacing (m)/density	Pot Size	Hgt @ Maturity (m)	Notes	Amount	
	Trees						To be calculated at later stage in design	
Ac	Archtonopheonix cunninghamiana	Bangalow Palm			8-15m			
Mg	Magnolia grandiflora 'Teddy Bear'	Magnolia Teddy Bear	0.8	45 Lt	3	Prune to 1.8m hedge		
Pc	Pistacia chinensis	Chinese Pistachio Tree	As Shown	75 Lt	6-10m	Deciduous Tree		
Sa	Syzygium australe 'Pinnacle'	Pinnacle	0.6	300mm	6 to 10	Prune to 2m hedge		
Tl	Tristaniopsis laurina 'Luscious'	Luscious Water Gum	As shown	75 Lt	5 to 8			
	Shrubs							
Aa	Adenanthos sericeus compact	Adenanthos Silver Sensation	0.6	300mm	1.5m			
Am	Arthopodium milleflorum	Pale Vanilla Lily	0.4	150mm	0.45			
Cb	Cordyline banksii 'Electric Flash'	Cordyline Electric Flash	0.8	300mm	1.2			
Cr	Cycas revoluta	Sago Palm	As shown	25 Lt	1-5m			
Cz	Calathea zebrina	Prayer plant	5/sq m	140mm	0.6			
Px	Philodendron Xanadu	Xanadu	3m2	140mm	0.5			
Ri	Raphiolepis Indica	Lady Palm			0.6			
	Grasses/ Groundcovers							
Ca	Curcuma alismatifolia 'Miss Pearl'	Ginger Miss Pearl	0.4	200mm	0.3			
Dt	Dainella Tasmanic 'Tas Red'	Dianella Tas Red	As shown	150mm	0.5			
Lmi	Liriope muscari 'Isabella'	Lilly Turf	0.3m	140mm	0.3			
Lm	Liriope muscari 'Amethyst'	Lily Flower	0.4	140mm	0.5			



2
002 Typical Planting Above Slab Detail
Scale 1:20 @ A1

NOTES:

All Landscape Notes must be read in conjunction with Engineers and Architects Plans and Specifications.

Soil Types

- The mix to be used in planting areas above basement is called 'Planter Box Mix' from ANL Landscapes in Ryde. The soil mix contains a blend of soil, graded ash, coarse sand, Nepean sand, composted sawdust, Botany Humus Mix and Composted Pine Bark .

Paving

- Ensure all public walkway paving is to Council DCP specification and as per Architects and Engineers details.

-Mulching

All planting areas to be mulched with a minimum 75mm thick cover leaf litter mulch called 'Forest Fines' from ANL Landscapes.

Edging

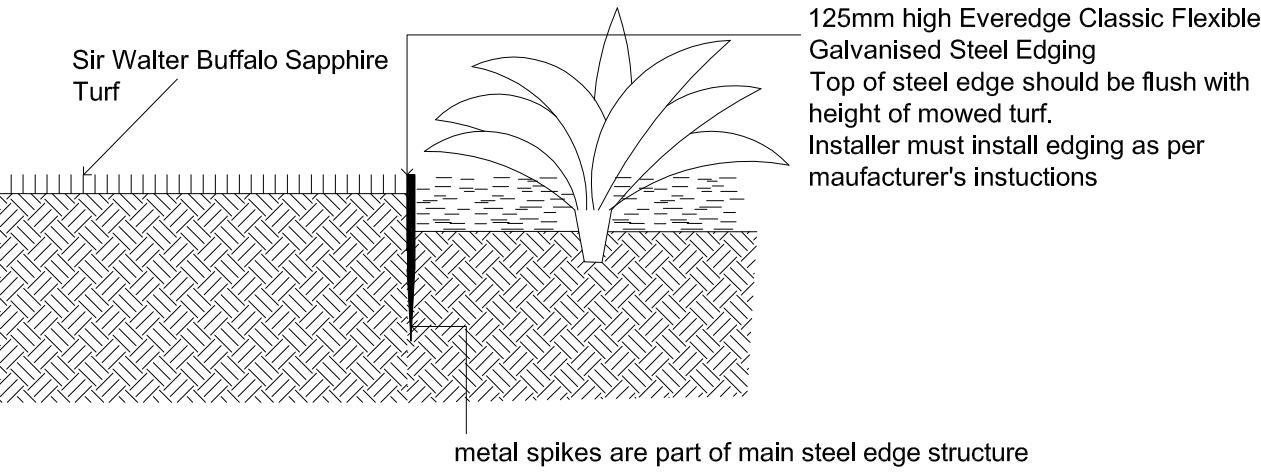
125mm high Everedge Classic Flexible Galvanised Steel Edging is to be used. See section 1. Installation is to be conducted as per manufacturers instructions.

Turfing

Sir Walter Buffalo Sapphire grass is to be used as it is the most shade tolerant grass recommended by the producer. Grass is to fully irrigated by automated irrigation.

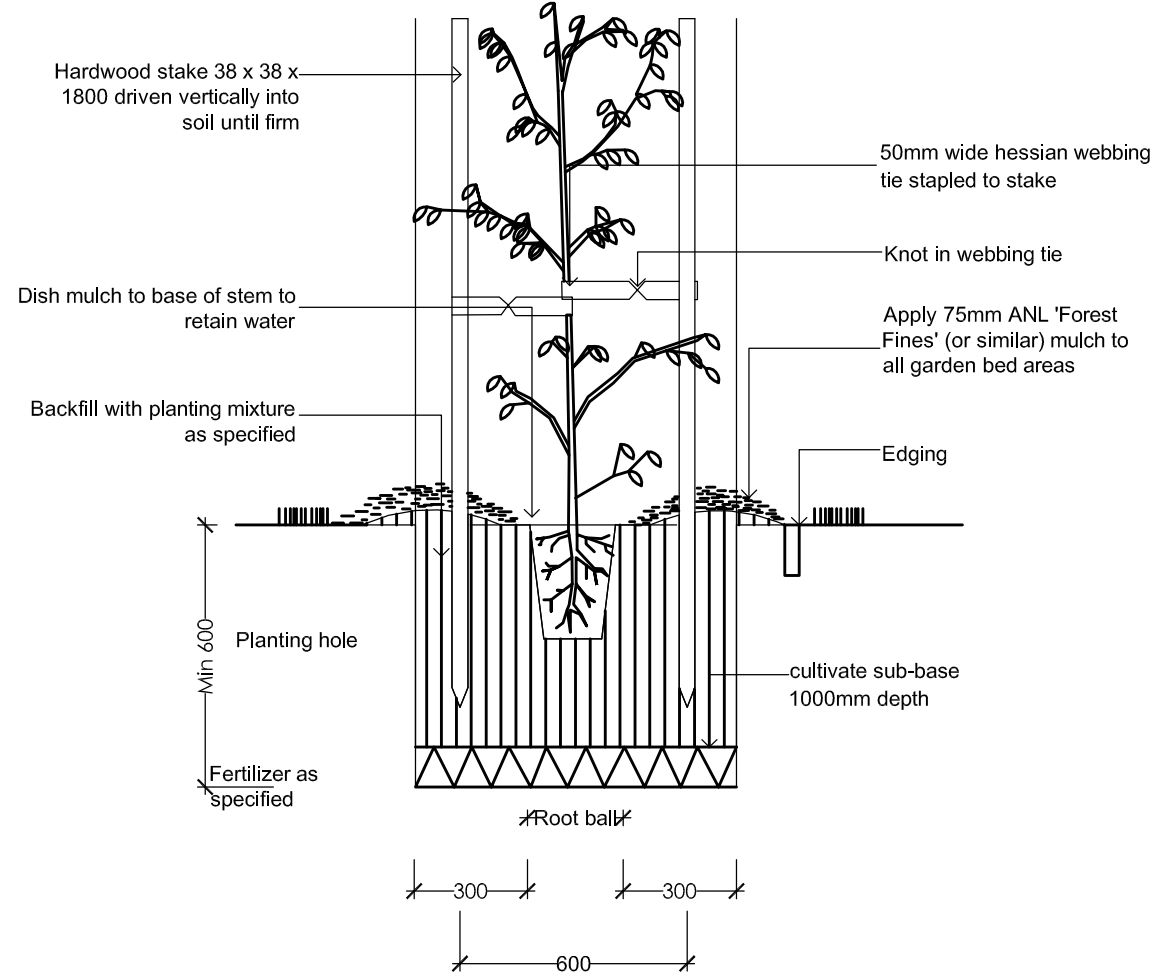
Irrigation

Fully automatic watering system to be selected. In ground drip line to extend to all planting areas.



1
002 Steel Edging Detail
Scale 1:10 @ A1

Landscape Maintenance Schedule for 160 - 178 Stoney Creek Road Beverly Hills					
Item	Month				
Planted areas: planter boxes and inground	0 to 1	1 to 3	3 to 6	6 to 9	9 to 12 and ongoing
Watering by automated irrigation	Programmed every day for first week	Programmed to every second day			
Watering by hand	Only if needed upon inspection if plant seen to not be doing well.				
Weeding	Once a month. Remove any failed plants and replace with new speciman of same species				
Mulching	To be maintained and replenished to specified depth of 75mm				
Fertilizing	once a month				
Pest Control	Once a fortnight		once a month		
Plant Stakes	Remove ties after 3 months		Remove stakes after 6 months		
Item	Month				
Turfed area : Sir Walter Buffalo 'Sapphire' Grass	0 to 1	1 to 3	3 to 6	6 to 9	9 to 12 and ongoing
Watering by automated irrigation	Programmed every day for two weeks	Every 3 Days	Once a week during Autumn and Spring and twice a week during Winter and Summer		
Weeding	Every month				
Fertilizing	Apply fertilizer low in nitrogen content twice a year in Summer and Autumn				



3
042 Tree Planting
Scale 1:20

AMENDMENTS			NOTES
DATE	NOTES	REV.	
			All dimensions to be set out by contractor on site and confirmed by landscape architect prior to construction. Do not scale from drawing. Any discrepancies to be referred to landscape architect.

PROJECT
160-178 Stoney Creek Rd
Beverly Hills

DRAWING
Preliminary Landscape
Details for DA

DRAWING NUMBER
ED-043-002

REV.
A

SCALE
As Shown

 **Elysium Design**
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